

33 Russell Street GREENACRE NSW 2190 Australia

DRAWING No	DRAWING TITLE	SCALE	SIZE
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STORM WATER PLAN
BASIX CERTIFICATE
WASTE MANAGEMENT PLAN
GEOTECH REPORT
LANDSCAPE PLAN
ARBORIST REPORT
STATEMENT OF ENVIRONMENTAL EFFECTS REPORT
COST ESTIMATE



ISSUE	DATE	DESCRIPTION	APP BY
A	16/10/2023	ISSUE FOR APPROVAL	RM

DEVELOPMENT APPLICATION

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CLIENT
Mr Sam Sharawneh

CONSULTANTS
1. NSW LAND SERVICES
2. SDS ENGINEERING
3. PBAPTY

PROJECT DESCRIPTION
NEW SINGLE DWELLING
2 STOREY HOUSE

PROJECT LOCATION
33 Russell Street GREENACRE
NSW 2190 Australia
 LOT 20
 DP 26321

PROJECT NUMBER
23002

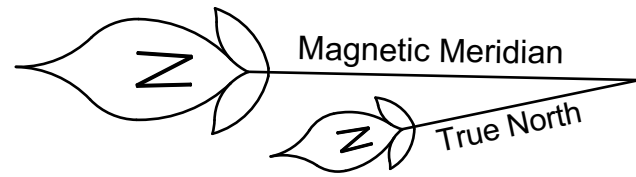


DRAWING TITLE
COVER SHEET

DRAWING NUMBER SCALE ISSUE
DA 00 **A**

DRAWING STATUS
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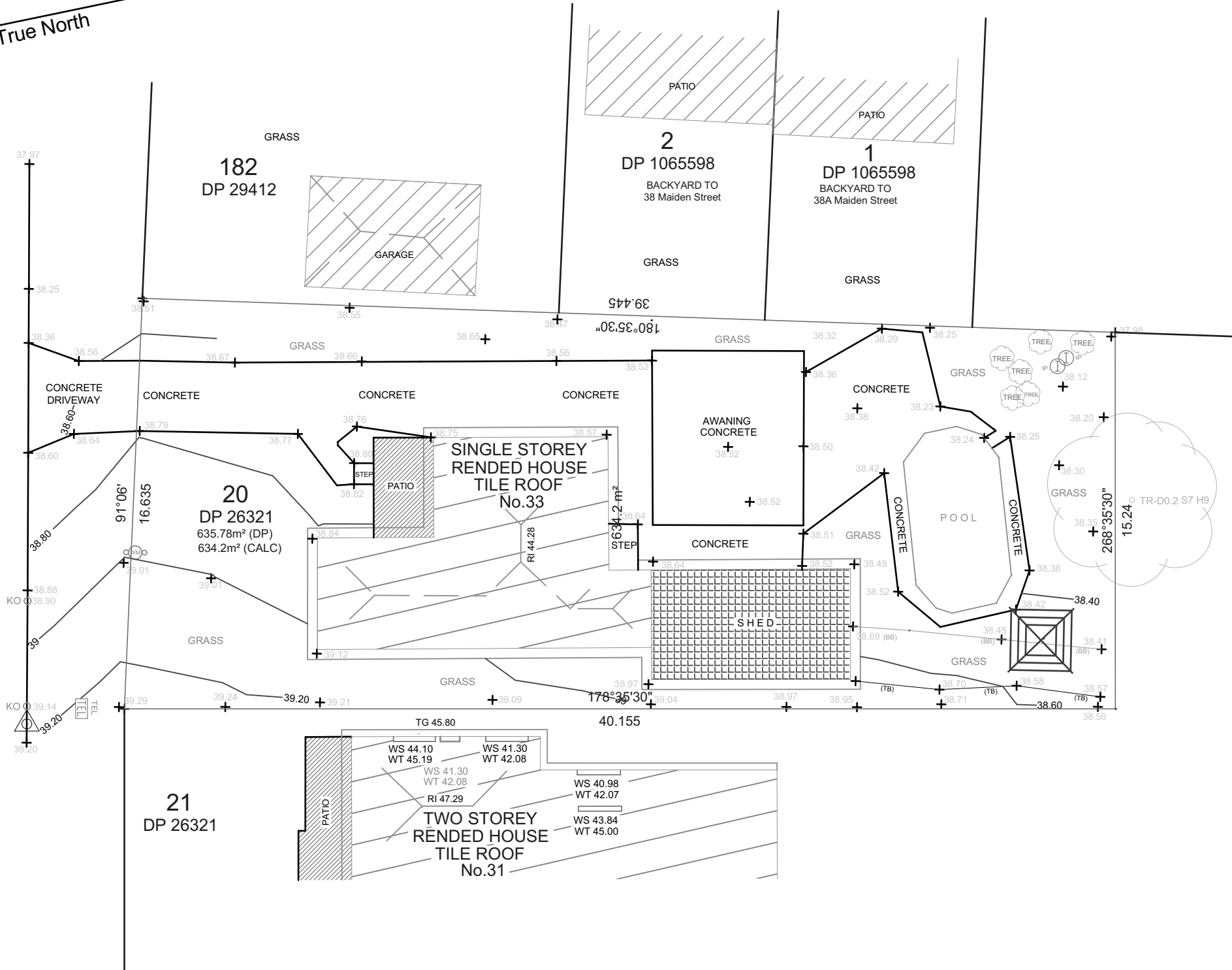
A3



RUSSELL STREET

Bench Mark
RL 39.16
(AHD)

(BB) : BOTTOM OF BANK
(TB) : BOTTOM OF BANK



GENERAL & SITE SPECIFIC NOTES

This survey has been undertaken for contour and detail mapping purposes only. This survey does not require strict accuracy and is not an identification survey with respect to the Surveying and Spatial Information, Act 2002 and / or, Regulation 2017. As such no accurate investigation into property boundaries has been made. Therefore any position of features and structures are approximate only. Parcel boundary dimensions' bearings and areas have been adopted from the subject deposited plan and have not been investigated, any bearing, distance, area, setback or other dimension may be subject to change with further investigation and lodgment of a plan of survey at the Land Titles Office.

Contours are indicative of surface topography only. Surveyed spot levels are the only values at which reduced level can be relied upon. Contours are displayed at 0.2 metre major and 0.2 metre minor intervals.

Services shown have been derived from visual evidence apparent at the time of survey. It is strongly advised to visit 'dial before you dig' prior to any excavation or construction and verify critical locations with a suitably qualified service locator to AS 5488-2013 QL-A prior to any works or critical design.

It is strongly advised to review an up to date title search and give careful consideration to all items prior to any planning and/or construction.



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Belmore NSW 2192
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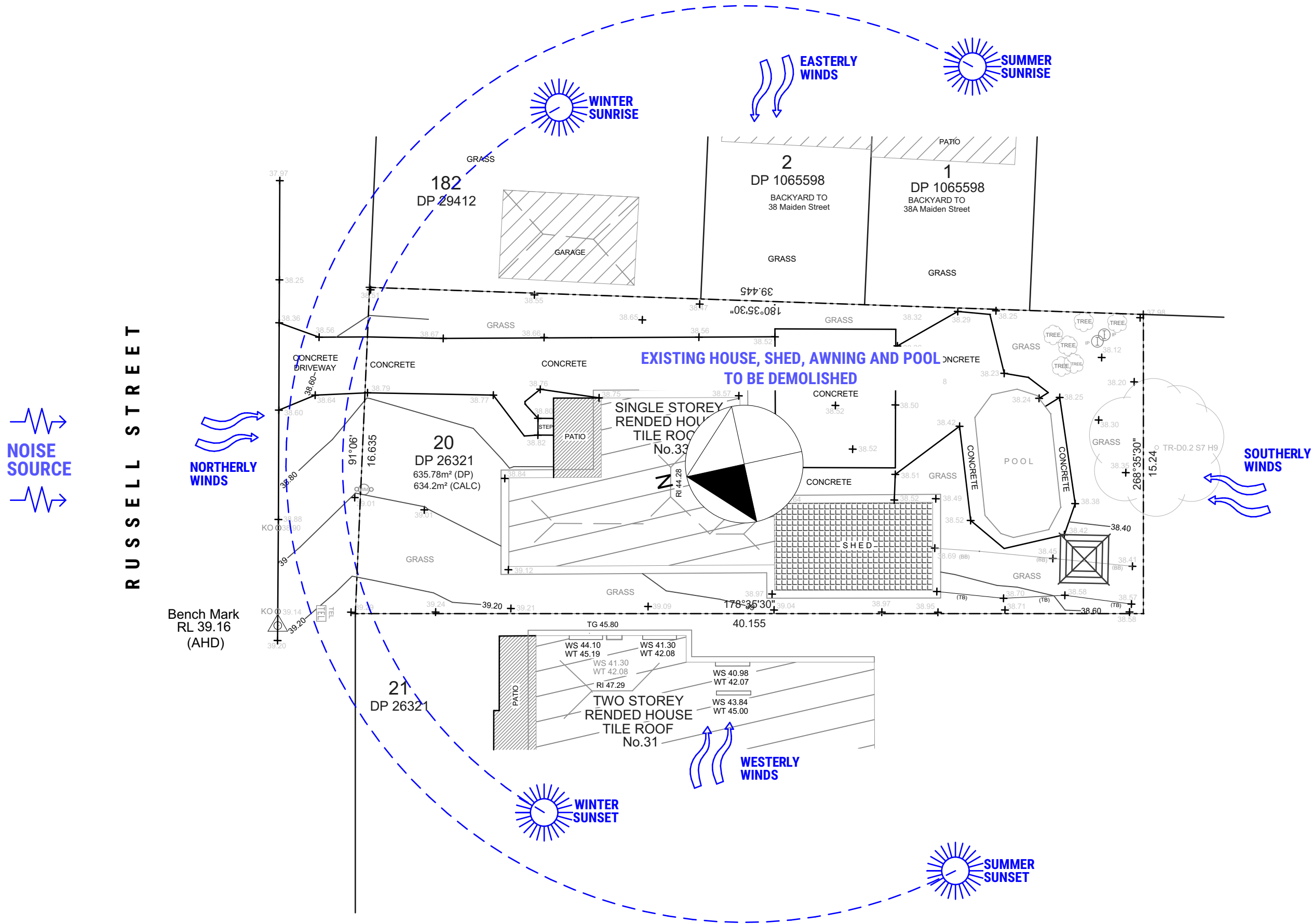
CLIENT: ALI CHOWDHURY
CLIENT REF: -
ADDRESS: 33 RUSSELL STREET
SUBURB: GREENACRE

OUR PROJECT REFERENCE & DETAILS:
JOB NO: 9719 L.G.A.: CANTERBURY-BANKSTOWN
LOT: 20 SECTION: - DP: 26321
DATUM: Australian Height Datum SOURCE: SCIMS
DATUM ORIGIN: SSM 141341 REDUCED LEVEL: 35.94 DATE: 07-07-2023

SCHEDULE OF SYMBOLS & ABBREVIATIONS
HYD HYDRANT SV STOP VALVE WM WATER METER TAP TAP SMH SEWER MAINT. HOLE IP SEWER INSPECTION
EB ELECTRICITY BOX LP LIGHT POST EP ELECTRICITY POLE TEL TELECOM PIT COM COMMUNICATIONS GM GAS METER
GV GAS VALVE KIP KERB INLET PIT SWMH STORMWATER MAINT. HOLE TGP TOP GRATED PIT TLP TOP LODGED PIT KO KERB OUTLET
BM BENCH MARK STATE OR PERMANENT SURVEY MARK PM PERMANENT SURVEY MARK
+ SPOT LEVEL WS WINDOW SILL A ARC LENGTH CH CHAINAGE H HEIGHT T.R. TOP RETAINING S SPREAD S D DIAMETER 0
FL FLOOR LEVEL

SURVEY DETAILS:
SURVEYED: LS.
DATE: 07-07-2023
COMPILED: S.N.
DATE: 19-07-2023
REVIEWED: B.T.
DATE: 19-07-2023

SCALE
1:200
SHEET SIZE:
A3
PAGE
1
OF 1



ISSUE	DATE	DESCRIPTION	APP BY
A	16/10/2023	ISSUE FOR APPROVAL	RM

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1. NSW LAND SERVICES
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3. PBAPTY

PROJECT DESCRIPTION

NEW SINGLE DWELLING
2 STOREY HOUSE

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33 Russell Street GREENACRE
NSW 2190 Australia
LOT 20
DP 26321

PROJECT NUMBER

23002

DRAWING TITLE

SITE ANALYSIS

DRAWING NUMBER

DA 11

SCALE

1:200

ISSUE

A

DRAWING STATUS

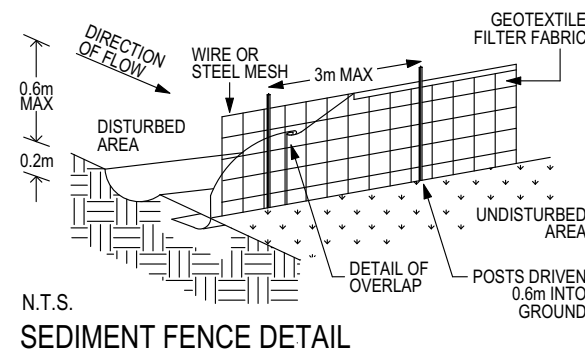
NOT FOR CONSTRUCTION

A3

- i. Following assessment , the Arborist recommends the removal of T2, and T3 and T5 if landscape renewal is proposed.
- II. For Trees 1, 4, 6 and 7 to remain viable , the following must be implemented;
 - a. The concrete retainer holding T1 must remain in situ.
 - b. The demolition of the existing crossover and driveway must be done so, by hand, and under the supervision of the Project Arborist
 - c. The new driveway and crossover should be at existing ground levels.
 - d. The bulk soil cut along the southern boundary must not occur, at minimum in the SRZ's of both T6 and T7 , meaning that there will be a differentiation in soil levels at this point. Refer to Tree Protection Plan on Page 14.
 - e. Where the soil cuts are approved within the TPZ of trees it is anticipated underlying tree roots will be cut. Such roots, greater than 25mm, must be blocked, by use of clean cut, sterilised tools , that will ensure rapid compartmentalisation (forming walls that protect the wound area from decay) denying the entry of fungal pathogens. Ground soil/root treatment within the TPZ is crucial in this vicinity.
 - f. All trees are to be protected in accordance with AS4970:2009.



01. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER.
02. MINIMISE DISTURBED AREAS
03. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
04. DRAINAGE TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
05. ROADS AND FOOTPATH TO BE SWEEPED DAILY.
06. NO MATERIAL TO BE STORED ON FOOTPATH.
07. SILT FENCE TO BE CONSTRUCTED AS PER DETAIL SHOWN OR BY USING AN APPROVED EQUIVALENT MEASURE. THE SILT FENCE IS TO BE CONSTRUCTED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITIES. IT IS TO BE KEPT IN GOOD WORKING ORDER AT ALL TIMES. WHEN APPROXIMATELY 30% FULL OR AS DIRECTED BY COUNCIL'S REPRESENTATIVE



- ## NOTES:
- DEMOLITION IS TO BE CARRIED OUT IN ACCORDANCE WITH AUSTRALIAN STANDARD 2601-1991 THE DEMOLITION OF STRUCTURES.
 - DEMOLITION IS TO BE CARRIED OUT BY A QUALIFIED AND LICENCED DEMOLITION COMPANY.
 - AS3.1.1 AT ALL TIMES DEMOLITION WORK SHALL BE SUPERVISED BY A COMPETENT PERSON.
 - DEMOLISHED HOUSE TO BE RECYCLED AS PER WASTE MANAGEMENT PLAN.
 - OBTAIN ALL NECESSARY PERMITS AND APPROVALS.
 - ALL EXISTING SERVICES TO BE DISCONNECTED AND SEALED BEFORE DEMOLITION.
 - REMOVAL OF HAZARDOUS SUBSTANCES SHALL BE CARRIED OUT BY A COMPETENT AND QUALIFIED PERSON.
 - REMOVAL OF ASBESTOS SHALL BE IN ACCORDANCE WITH THE NOHSC (WORK SAFE AUSTRALIA).
 - STRUCTURES SHALL BE DEMOLISHED PROGRESSIVELY, STOREY BY STOREY (SEQUENTIAL METHOD).
 - DEMOLISHED MATERIALS SHALL BE REMOVED PROGRESSIVELY AND NOT BE ALLOWED TO ACCUMULATE ON SITE.
 - DEMOLISHED MATERIALS SHALL NOT BE ALLOWED TO FALL FREELY.
 - AS3.1.8 THE SITE SHALL BE SECURED AT ALL TIMES AGAINST THE UNAUTHORIZED ENTRY OF PERSONS OR VEHICLES.

WASTE MANAGEMENT PLAN				
Destination of Materials during Construction Stage				
On - Site Materials			Re - Use & Recycling	Disposal
Material	Estimated volume	Re-use & Recycling On-Site	Recycling Off-Site	Disposal Off-Site
Excavation	480 m ³	N / A	N / A	N / A
Green Waste	NIL	N / A	N / A	N / A
Bricks	10 m ³	separate adjacent to geotextile waste bin	'Brandown' - Kemps Creek 'Eco Cycle Materials' - Wetherill Park 'Benedicts' - Chipping Norton	
Concrete	8 m ³	on - site as all weather access	N / A	N / A
Timber	10 m ³	stored separately in geotextile waste bin	'Brandown' - Kemps Creek 'Eco Cycle Materials' - Wetherill Park 'Benedicts' - Chipping Norton	
Plaster board and fibro	10 m ³	stored seperately	recycled by 'CSR'	'CSR'
Metals	2 m ³	stored separately in geotextile waste bin	'Smorgon Steel'	'Smorgon Steel'
Other(eg. Tiles paints, plastics, PVC tubing, cardboard)	1.0 m ³	stored separately in geotextile waste bin	'Brandown' - Kemps Creek 'Eco Cycle Materials' - Wetherill Park 'Benedicts' - Chipping Norton	

DEVELOPMENT APPLICATION			
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PROJECT DESCRIPTION

NEW SINGLE DWELLING
2 STOREY HOUSE

PROJECT LOCATION

33 Russell Street GREENACRE
NSW 2190 Australia
LOT 20
DP 26321

PROJECT NUMBER

23002



DRAWING TITLE

DEMOLITION AND SEDIMENT
CONTROL PLAN

DRAWING NUMBER

DA 12

SCALE

1:200

ISSUE

A

DRAWING STATUS

NOT FOR CONSTRUCTION

A3

CALCULATIONS:
SITE AREA = 632.3m²

GROUND FLOOR = 172.97m²
FIRST FLOOR = 143.16m²
VOID = 16.10m²
MASTER BED FRONT BALCONY = 12.19m²
BEDROOM 2 BALCONY = 4.43m²
ALFRESCO = 53.58m²
POOL = 42.91m²
TOTAL FLOOR AREA: 172.97m² + 143.16m² = 316.13m² - 50%
MAX 316.15m²

NOTES
GROSS FLOOR AREA EXCLUDES BALCONIES, ALFRESCO, STAIRWELL (FIRST FLOOR) AND VOIDS, AREA MEASURED FROM INSIDE SKIN OF EXTERNAL WALLS.

LANDSCAPE AREAS
BACKYARD = 64.36m²
FRONTYARD TOTAL= 150.82m²
FRONTYARD LANDSCAPED = 99.38m² OR 65.8%
OVERALL LANDSCAPED AREA =163.74m² = 25.42%
POS: DECK + BACKYARD = 80.51m²

BASIX NOTES
ALTERNATIVE WATER
RAINWATER TANK

The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

SWIMMING POOL

The swimming pool must not have a volume greater than 69 kilolitres.

The swimming pool must be outdoors.

THERMAL PERFORMANCE AND MATERIALS COMMITMENTS - SIMULATION METHOD

-The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.

-The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.
-The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.

Construction	Area - m²	Insulation
floor - concrete slab on ground.	117	none
floor - suspended floor above open subfloor, concrete - suspended; frame: no frame.	23.7	foil-foam composite board
floor - above habitable rooms or mezzanine, concrete - suspended; frame: no frame..	109	none
floor - suspended floor above garage, concrete - suspended; frame: no frame.	109	fibreglass batts or roll
garage floor - concrete slab on ground.	91.8	none
external wall: cavity brick; frame: no frame.	all external walls	foil-foam composite board
internal wall: single skin masonry; frame: no frame.	176.6	none
ceiling and roof - flat ceiling / flat roof, concrete - plasterboard internal, no frame.	212	ceiling: fibreglass batts or roll; roof: none.

Glazing
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.

Frames	Maximum area - m2
aluminium	158.6
timber	0
uPVC	0
steel	0
composite	0

Glazing	Maximum area - m2
single	115.3
double	43.3
triple	0

ENERGY COMMITMENTS

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.

NATURAL LIGHTIING

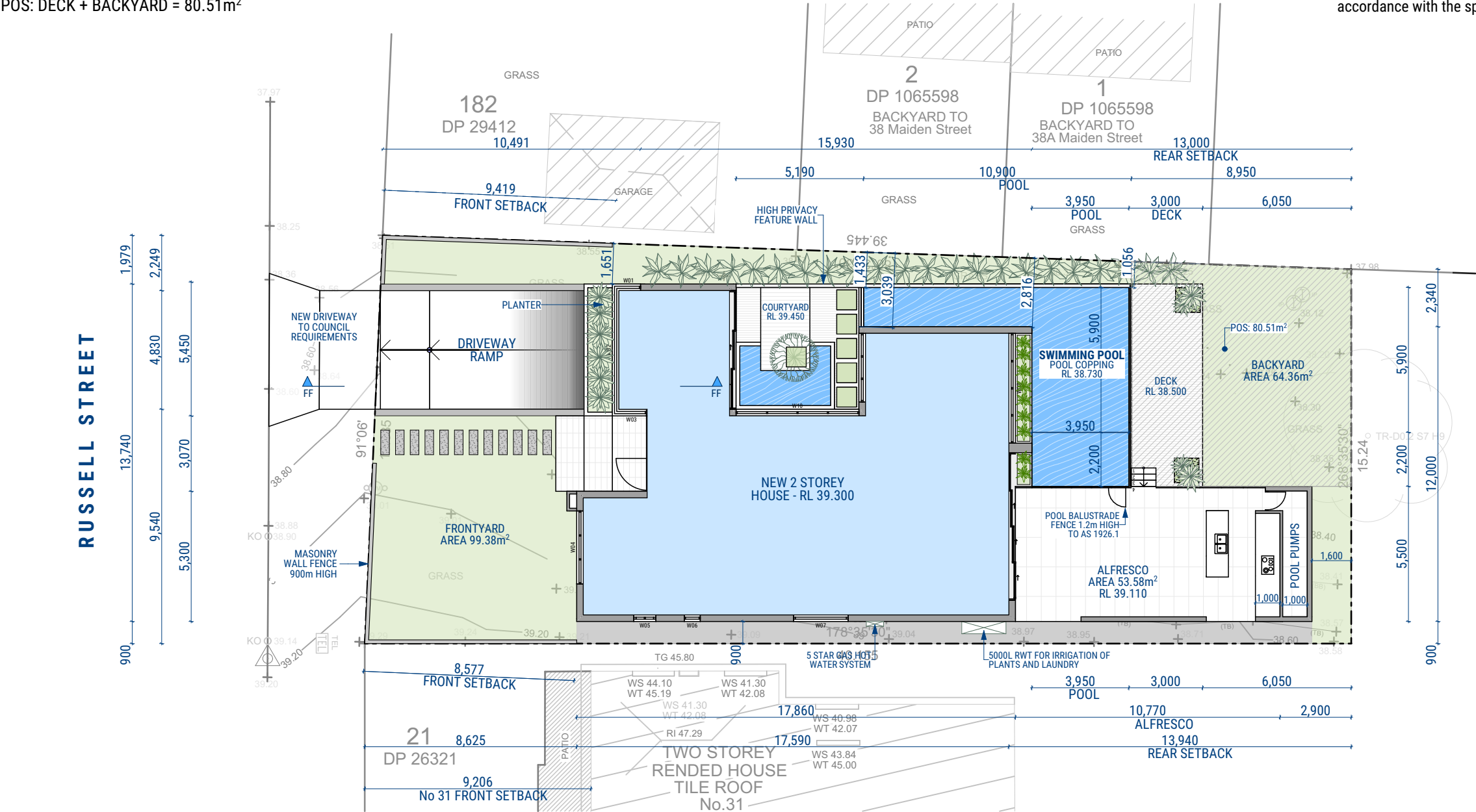
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.

The applicant must install a window and/or skylight in 4 bathroom (s)/toilet(s) in the development for natural lighting.

ALTERNATIVE ENERGY

The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.

The photovoltaic system must consist of
• photovoltaic collectors with the capacity to generate at least 3 peak kilowatts of electricity, installed at an angle between 25 degrees and 35 degrees to the horizontal facing west



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B	08/01/2023	ISSUE FOR APPROVAL	RM

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**NEW SINGLE DWELLING
2 STOREY HOUSE**

PROJECT LOCATION
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NSW 2190 Australia
LOT 20
DP 26321**

PROJECT NUMBER
23002

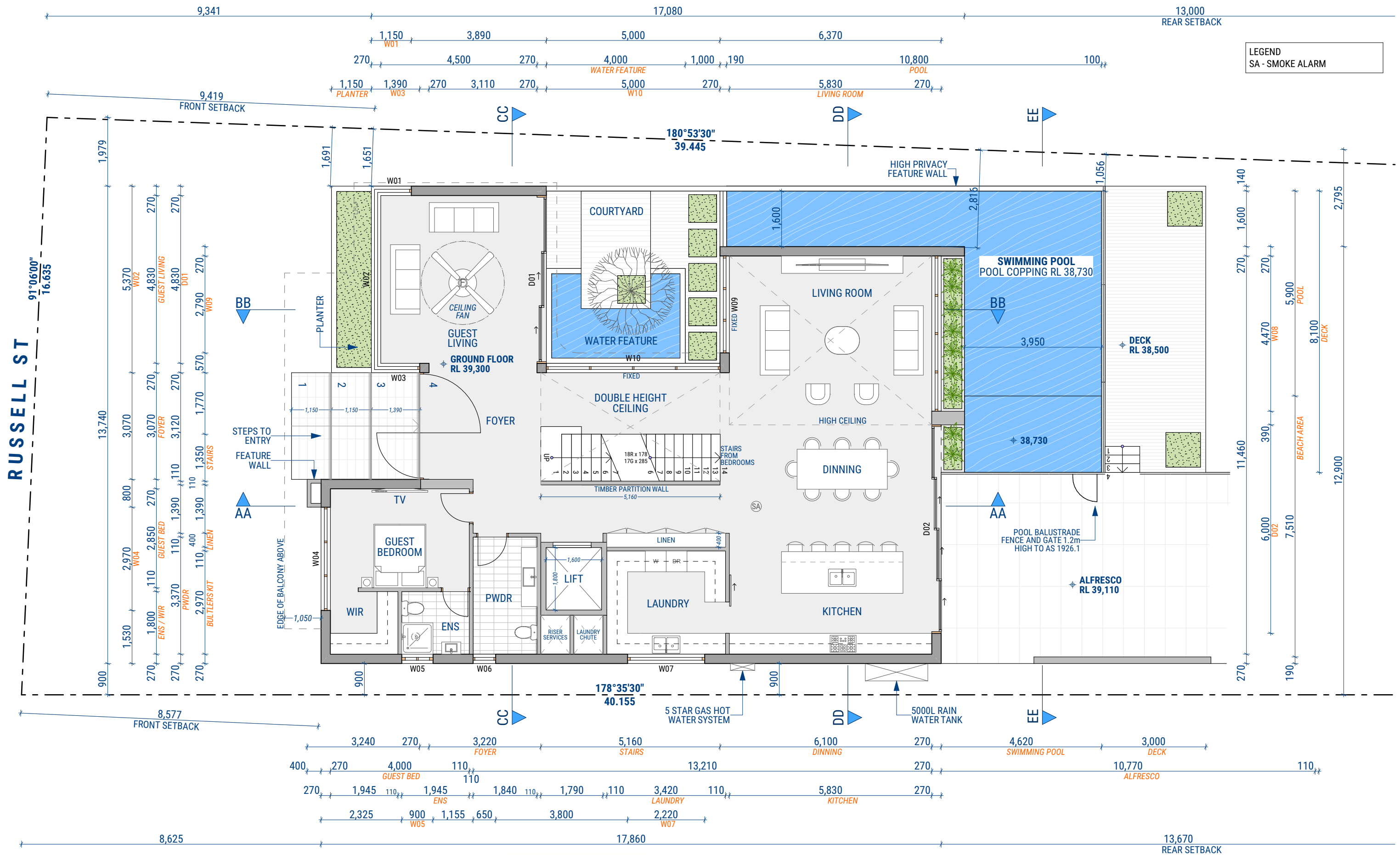
DRAWING TITLE
SITE PLAN

DRAWING NUMBER
DA 13

SCALE
1:200

ISSUE
B

DRAWING STATUS
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NEW SINGLE DWELLING

2 STOREY HOUSE

PROJECT LOCATION

33 Russell Street GREENACRE

NSW 2190 Australia

LOT 20

DP 26321

PROJECT NUMBER

23002



DRAWING TITLE

GROUND FLOOR

DRAWING NUMBER

DA 20

DRAWING STATUS

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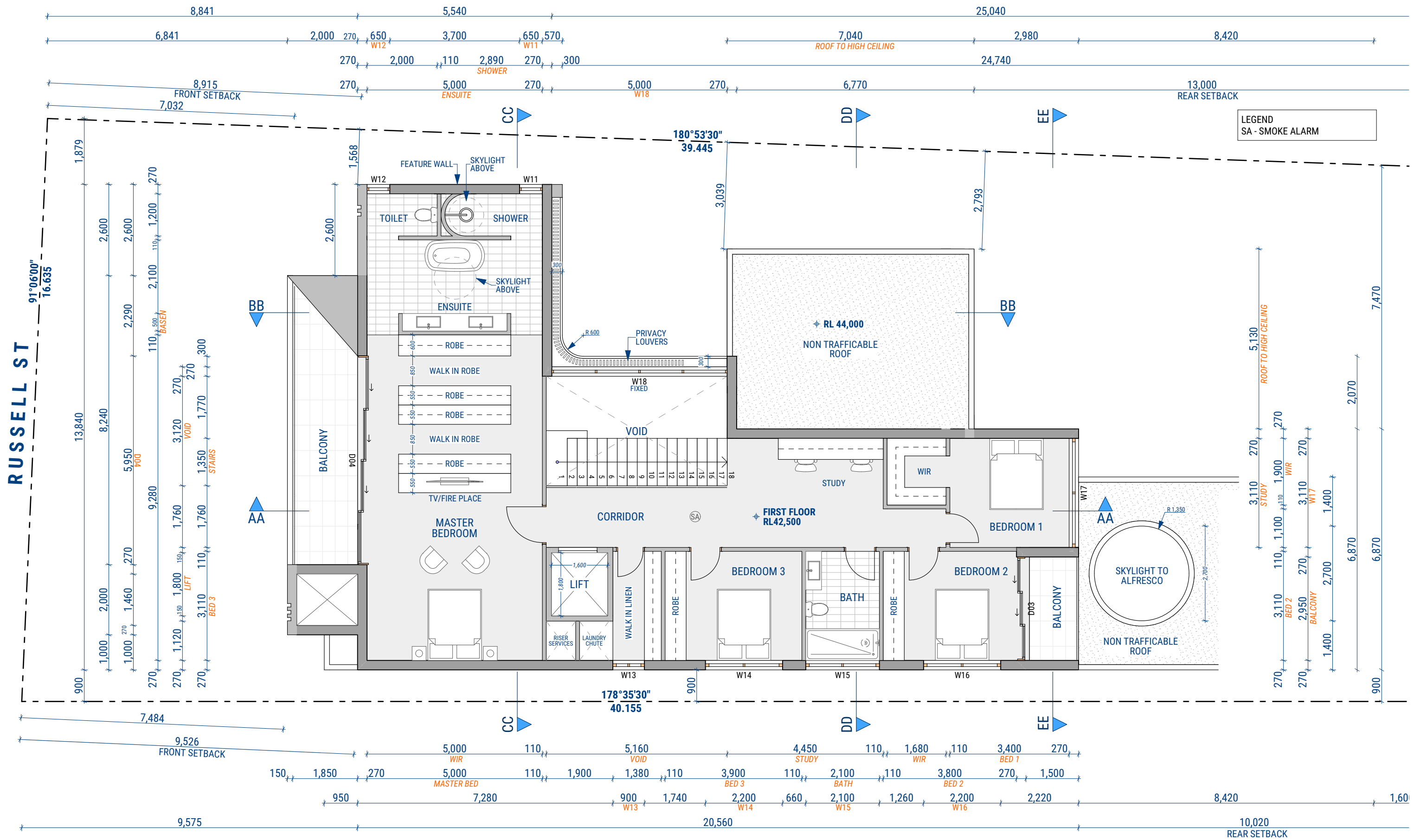
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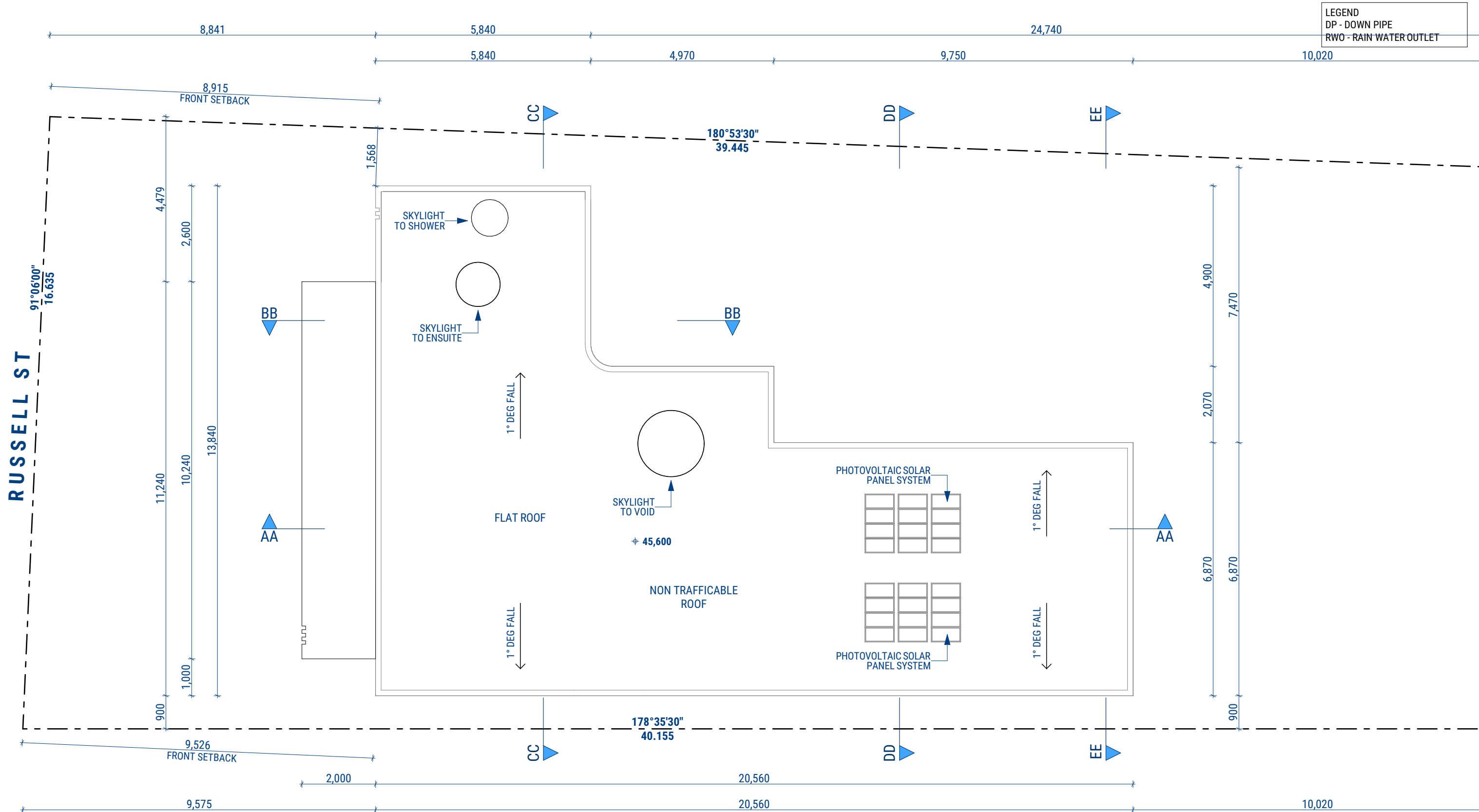
ISSUE

B

A3



ISSUE	DATE	DESCRIPTION	APP BY	DEVELOPMENT APPLICATION				CLIENT		PROJECT DESCRIPTION		PROJECT NUMBER		DRAWING TITLE	
A	16/10/2023	ISSUE FOR APPROVAL	RM	Do not scale drawings. Use figured dimensions only. Check & verify levels and dimensions on site prior to the commencement of any work, the preparation of shop drawings or the fabrication of components. This drawing is the copyright of RM Designers and is protected under the Copyright Act 1968. Do not alter, reproduce or transmit in any form or by any means without the express permission of RM Designers.				RM DESIGNERS Designer / 0405 204 511 / rabi@rmdesigners.com		NEW SINGLE DWELLING 2 STOREY HOUSE		23002		FIRST FLOOR	
B	08/01/2023	ISSUE FOR APPROVAL	RM												
								CONSULTANTS		PROJECT LOCATION		DRAWING NUMBER		SCALE	
								1. NSW LAND SERVICES		33 Russell Street GREENACRE		DA 21		1:100	
								2. SDS ENGINEERING		NSW 2190 Australia					
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PROJECT NUMBER
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DRAWING TITLE
ROOF

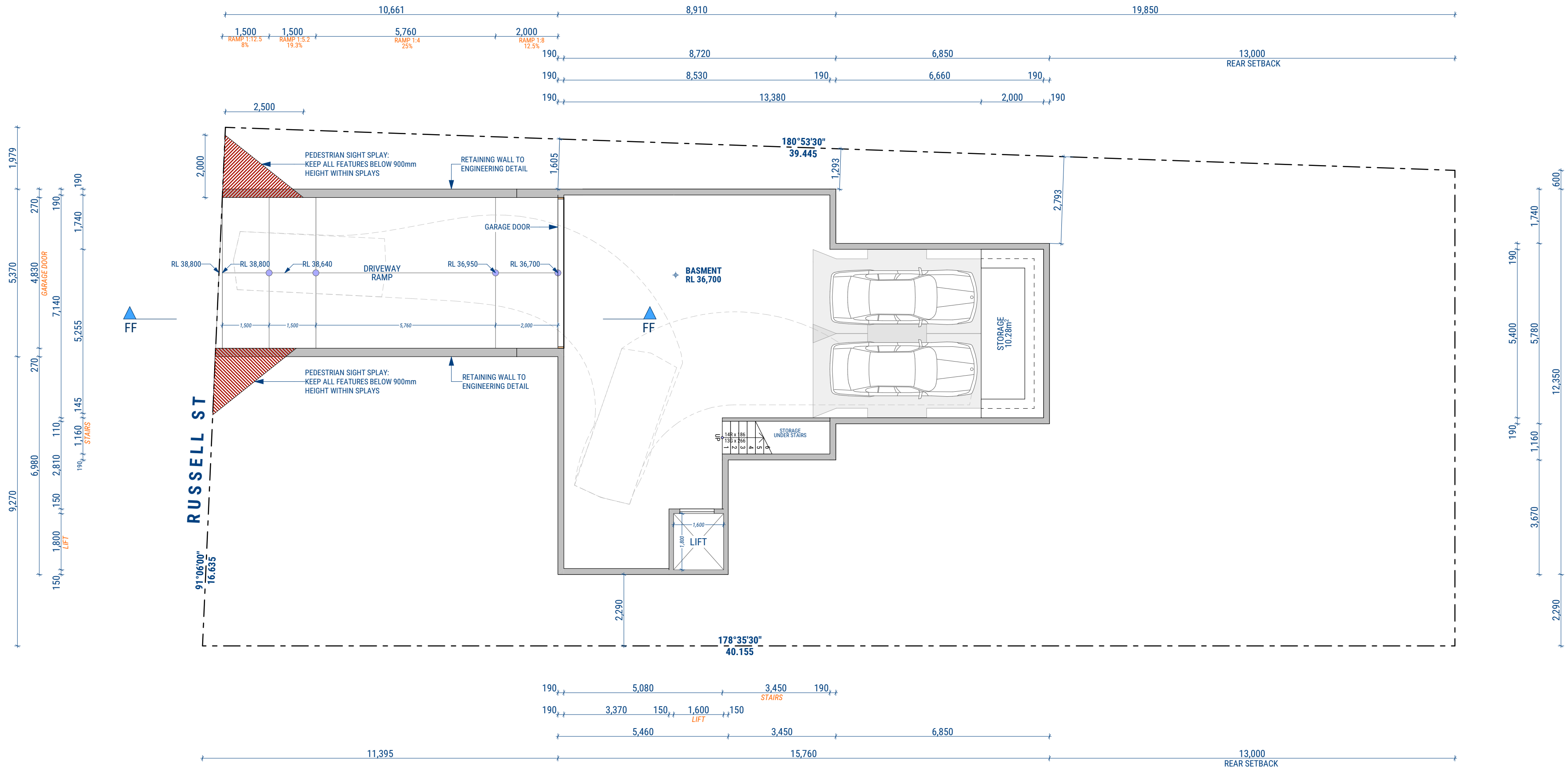
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DA 22

SCALE
1:100

ISSUE
B

DRAWING STATUS
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A3



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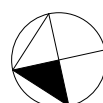
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DRAWING TITLE
BASEMENT

DRAWING NUMBER SCALE ISSUE
DA 23 1:100 B

DRAWING STATUS
NOT FOR CONSTRUCTION

A2

LANDSCAPE AREAS

SITE AREA = 632.3m²

BACKYARD = 64.36m²
FRONTYARD TOTAL= 150.82m²
FRONTYARD LANDSCAPED = 99.38m² OR 65.8%
OVERALL LANDSCAPED AREA =163.74m² = 25.42%
POS: DECK + BACKYARD = 80.51m²



Westringia fruticosa



Viburnum Odoratissimum



Dianella Tasmanica Destiny



New Zealand Flax Purple - Phormium Tenax Purpureum



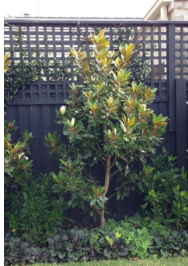
Pyrus calleryana Chanticleer



Lagerstroemia indica



Magnolia - Little Gem



Acer palmatum Japanese Maple

TURF

Excavate / grade all areas to be turfed to 120mm below required finished levels. Do not excavate within 1500mm of the trunk of any existing tree to be retained. Ensure that all surface water runoff is directed towards the inlet pits, kerbs etc.. and away from buildings. Ensure that no pooling or ponding will occur. Rip the subgrade to 150mm. Install 100mm depth of imported topsoil. Just prior to spreading the turf, spread "Shirley's No.17 lawn fertilizer" over the topsoil at the recommended rate. Lay "Kikuyu" turf rolls closely butted. Fill any small gaps with topsoil. Water thoroughly.

Brick Garden Edging

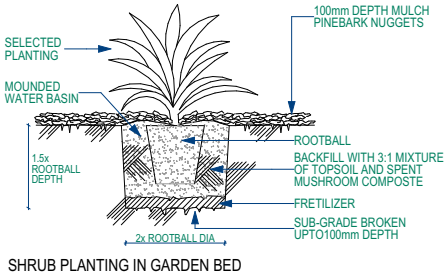
Lay a single coarse of paving bricks in a mortar haunch (200mm wide and 100mm deep). The edges are to be laid in even curves and straight line as shown on the plan. Where tight curves are shown use half bricks to show a more even curve. The top of the edge is to finish flush with the adjacent turf and mulch levels.

Planting areas

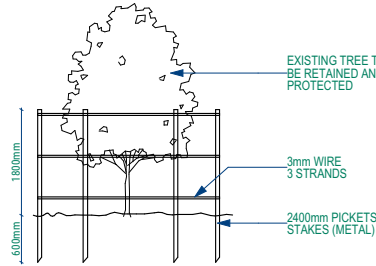
Ensure that the mass planting areas have been excavated to 300 below finished levels. Rip to a further depth of 150mm. Supply and install 300mm soil mix. Soil mix to comprise of one part approved compost to three parts topsoil. Topsoil shall be either imported topsoil or stockpiled site topsoil (if suitable ie: No clay) Install 75mm depth of selected mulch.

Note: Maintenance:

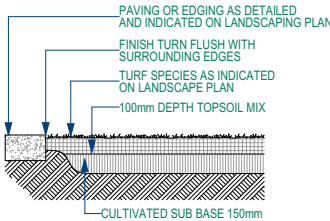
All landscape works are to be maintained for a period of three months from the date of practical completion. This includes all watering, weeding, spraying and re-mulching necessary to achieve vigorous growth. Any defects which arise during this period are to be rectified immediately. Any plants or areas of turf which fail during this period are to be replaced at no additional cost.



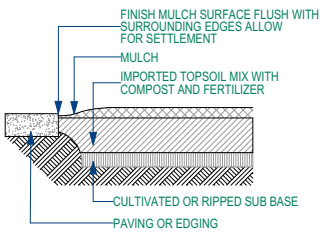
SHRUB PLANTING IN GARDEN BED



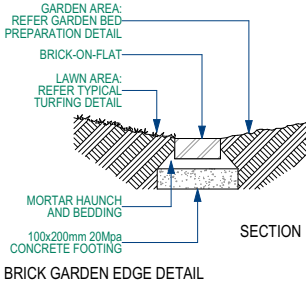
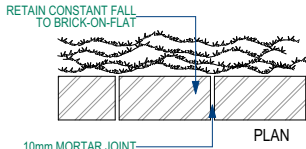
EXISTING TREE PROTECTION DETAIL



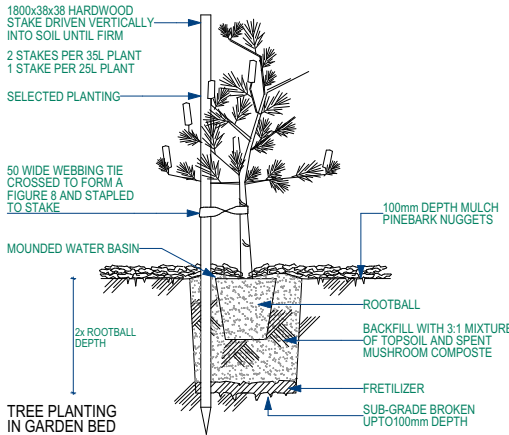
GROUND PREPARATION GRASSED AREA: TURF USING IMPORTED TOPSOIL DETAIL



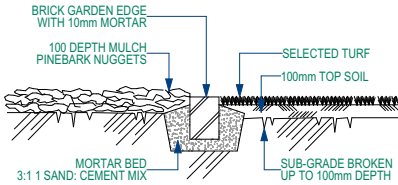
GROUND PREPARATION PLANTING AREA USING IMPORTED TOPSOIL DETAIL



BRICK GARDEN EDGE DETAIL



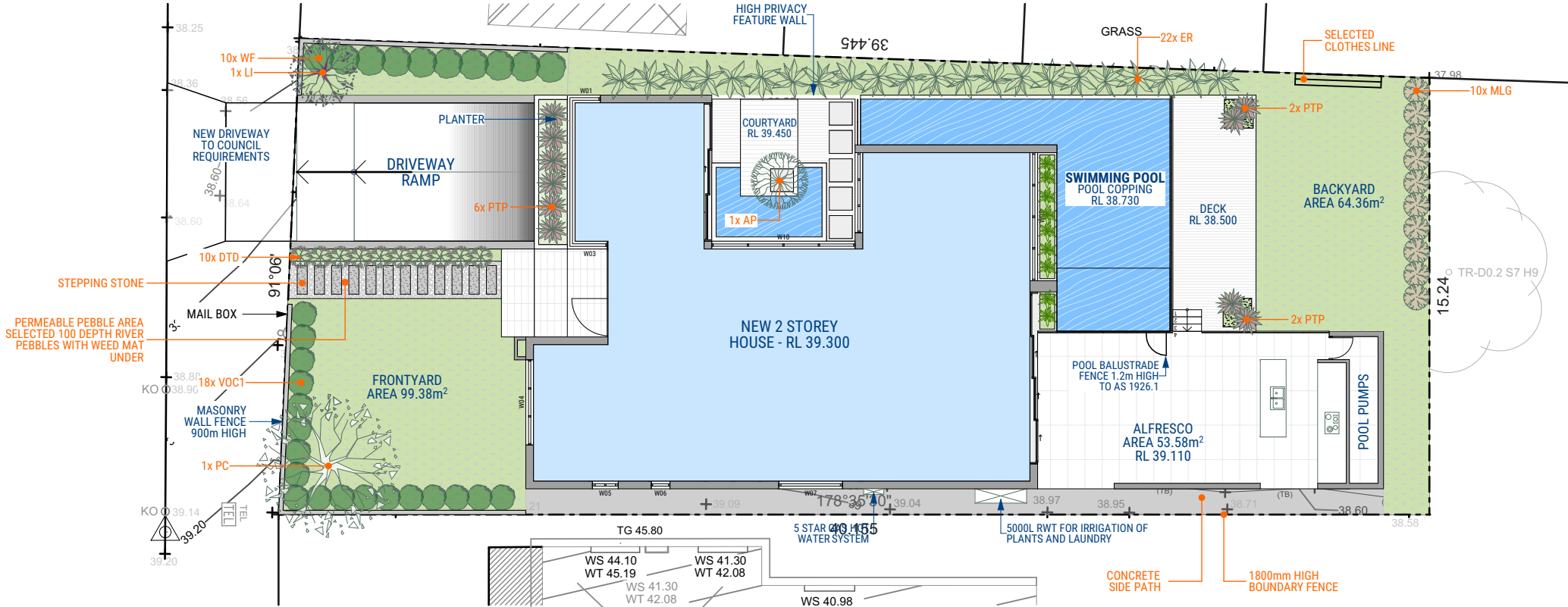
TREE PLANTING IN GARDEN BED



TURF & GARDEN EDGE DETAIL

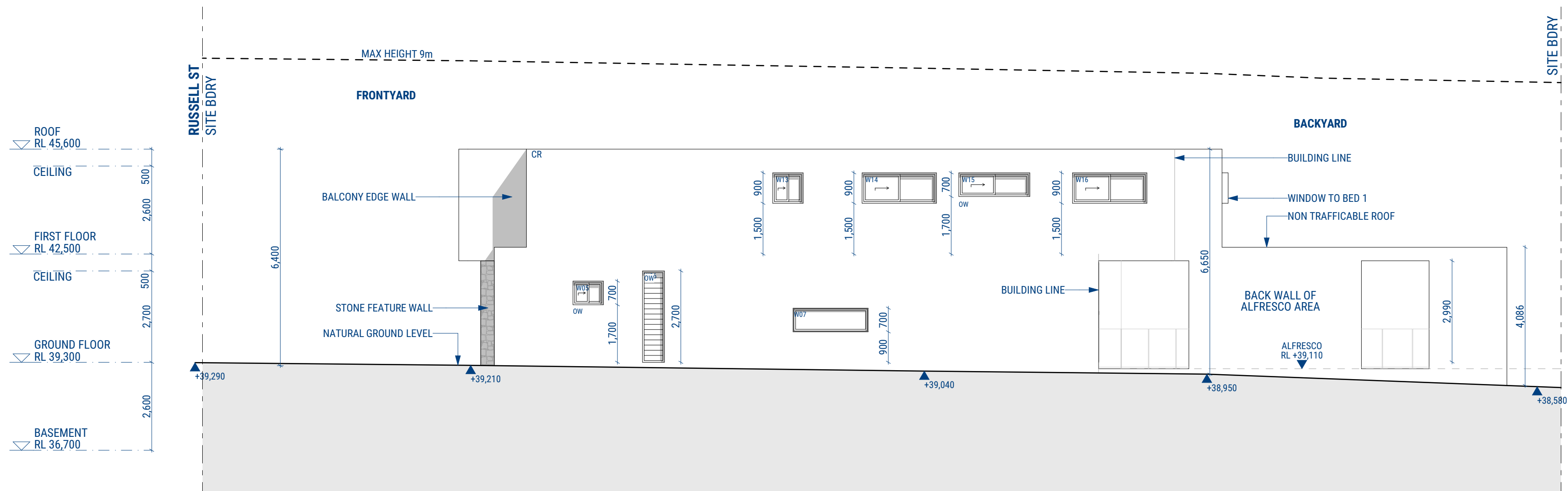
PLANT SCHEDULE					
ID	QTY	Botanical Name	Common Name	Pot Size	Approx Mature Height
AP	1	Acer palmatum	Japanese Maple	40cm/27L	4m
DTD	10	Dianella Tasmanica Destiny	Destiny Flax Lliy	150mm	0.4m
ER	22	Elaeocarpus reticulatus	Blueberry Ash	40cm/27L	4-8m
LI	1	Lagerstoemia indica	Crepe Myrtle	200mm	3-6m
MLG	10	Magnolia 'Little Gem'	Little Gem Magnolia	200mm	3-4m
PC	1	Pyrus calleryana 'Chanticleer'	Pear Tree	200mm	10m
PTP	10	pphormium ttenax ppurple	New Zealand flax	100mm	1m
VOC1	18	Viburnum odoratissimum	Dense Fence	200mm	1.5m - 2m
WF	10	Westringia fruticosa	WestrinWestringia	200mm	1.5m

RUSSELL STREET

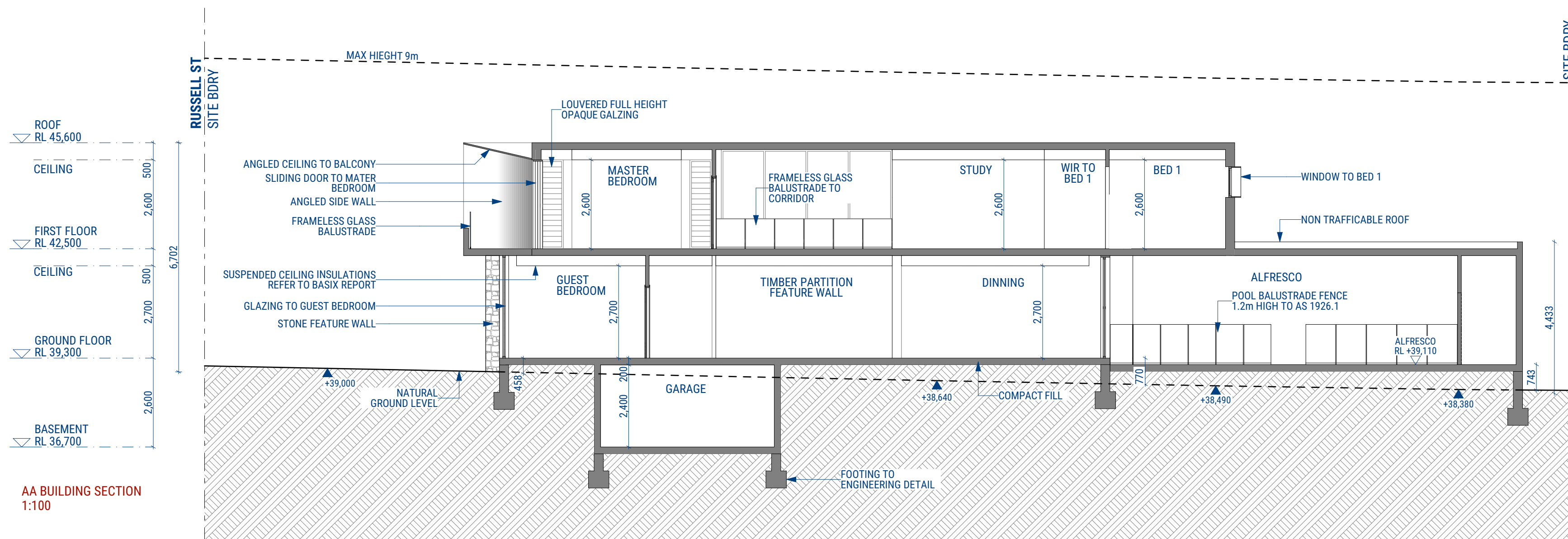


ISSUE	DATE	DESCRIPTION	APP BY	DEVELOPMENT APPLICATION			CLIENT		PROJECT DESCRIPTION		DRAWING TITLE	
A	16/10/2023	ISSUE FOR APPROVAL	RM	Do not scale drawings. Use figured dimensions only. Check & verify levels and dimensions on site prior to the commencement of any work, the preparation of shop drawings or the fabrication of components. This drawing is the copyright of RM Designers and is protected under the Copyright Act 1968. Do not alter, reproduce or transmit in any form or by any means without the express permission of RM Designers.			RM DESIGNERS Designer / 0405 204 511 / rabi@rmdesigners.com		NEW SINGLE DWELLING 2 STOREY HOUSE		CONCEPT LANDSCAPE	
B	08/01/2023	ISSUE FOR APPROVAL	RM									
							CONSULTANTS		PROJECT LOCATION		DRAWING NUMBER	
							1. NSW LAND SERVICES		33 Russell Street GREENACRE		DA 24	
							2. SDS ENGINEERING		NSW 2190 Australia		SCALE	
							3. PBAPTY		LOT 20		1:200	
									DP 26321		ISSUE	
											B	
											DRAWING STATUS	
											NOT FOR CONSTRUCTION	
											A3	

LEGEND
CR - CEMENT RENDER
OW - OPAQUE WINDOW
EC - EXPOSED CONCRETE
ST - STONE WALL
MC - METAL CLADDING



WEST ELEVATION
1:100



AA BUILDING SECTION
1:100

ISSUE	DATE	DESCRIPTION	APP BY
A	16/10/2023	ISSUE FOR APPROVAL	RM
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CLIENT
Mr Sam Sharawneh

CONSULTANTS
1. NSW LAND SERVICES
2. SDS ENGINEERING
3. PBAPTY

PROJECT DESCRIPTION
**NEW SINGLE DWELLING
2 STOREY HOUSE**

PROJECT LOCATION
33 Russell Street GREENACRE
NSW 2190 Australia
LOT 20
DP 26321

PROJECT NUMBER
23002



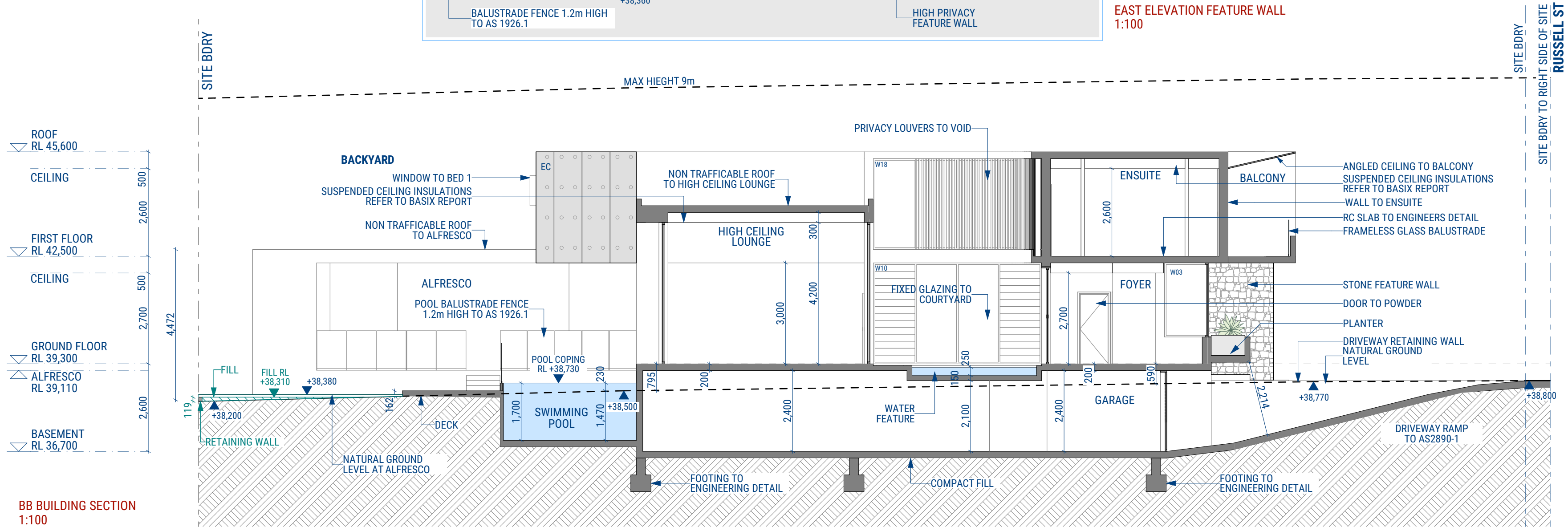
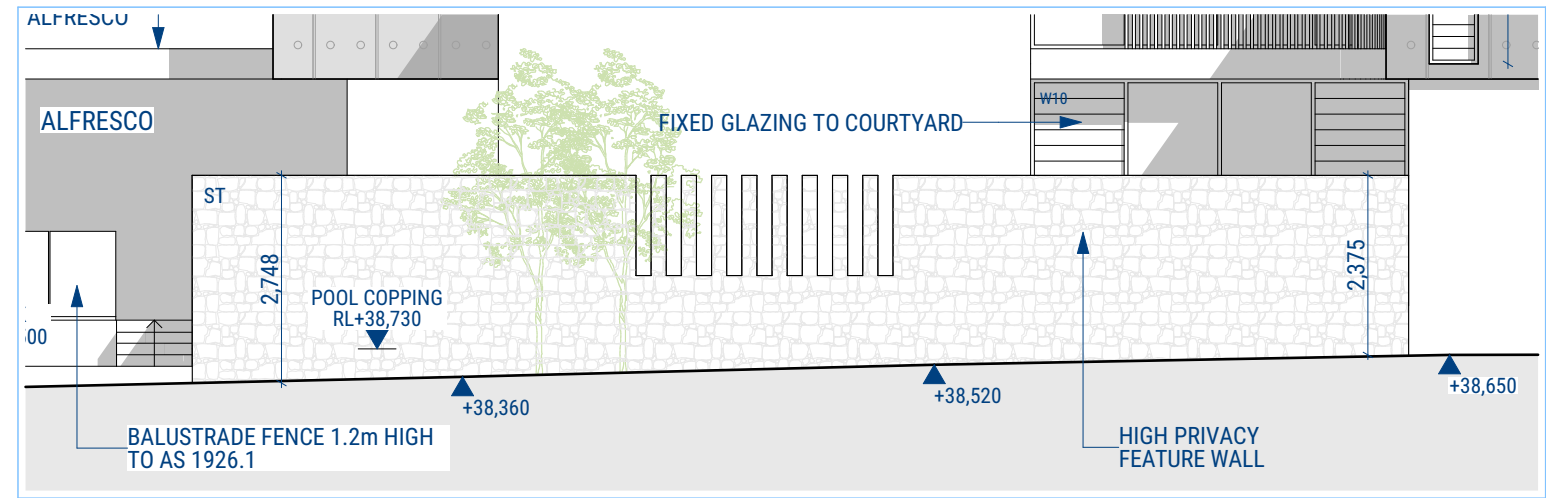
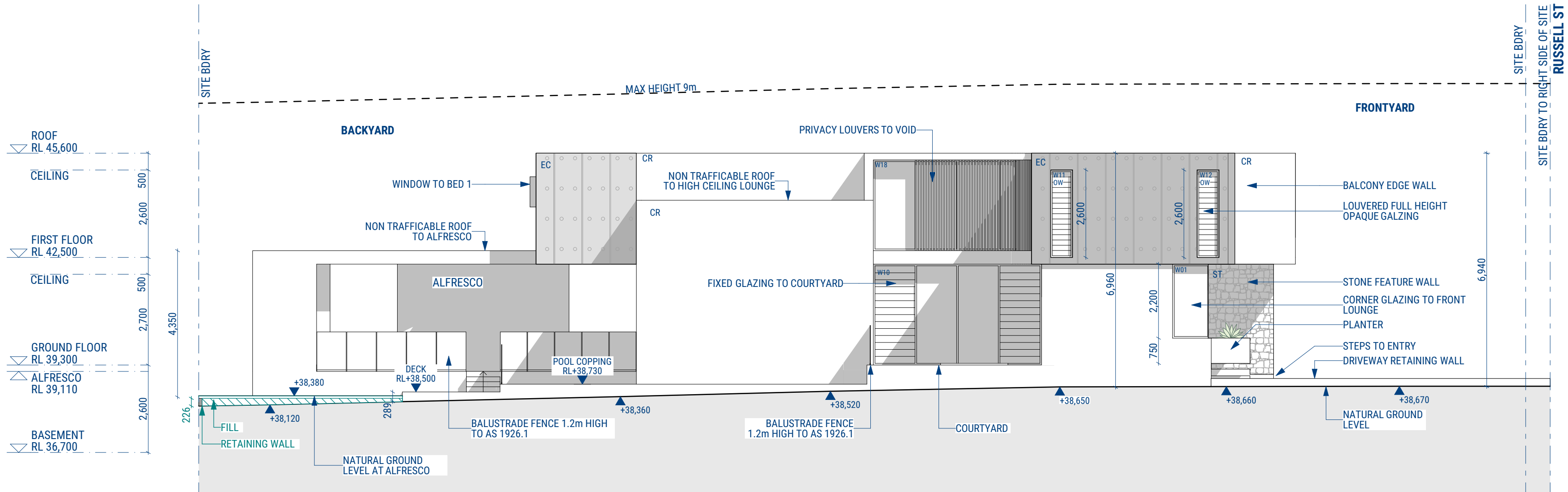
DRAWING TITLE
WEST ELEVATION + AA SECTION

DRAWING NUMBER	SCALE	ISSUE
DA 30	1:100	B

DRAWING STATUS
NOT FOR CONSTRUCTION

A2

LEGEND
CR - CEMENT RENDER
OW - OPAQUE WINDOW
EC - EXPOSED CONCRETE
ST - STONE WALL
MC - METAL CLADDING



ISSUE	DATE	DESCRIPTION	APP BY
A	16/10/2023	ISSUE FOR APPROVAL	RM
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DEVELOPMENT APPLICATION

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CONSULTANTS
**1. NSW LAND SERVICES
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PROJECT DESCRIPTION
**NEW SINGLE DWELLING
2 STOREY HOUSE**

PROJECT LOCATION
**33 Russell Street GREENACRE
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DP 26321**

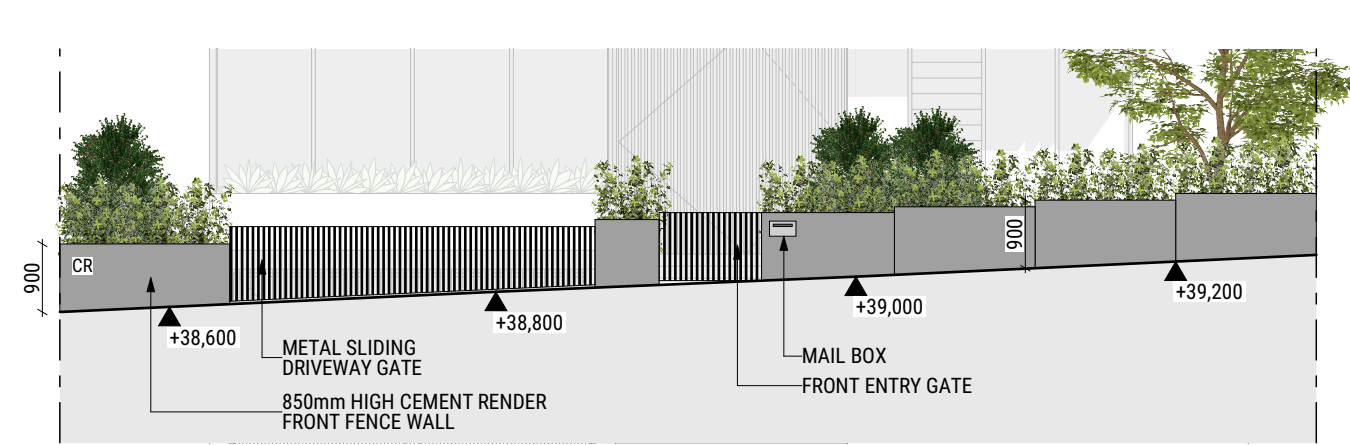
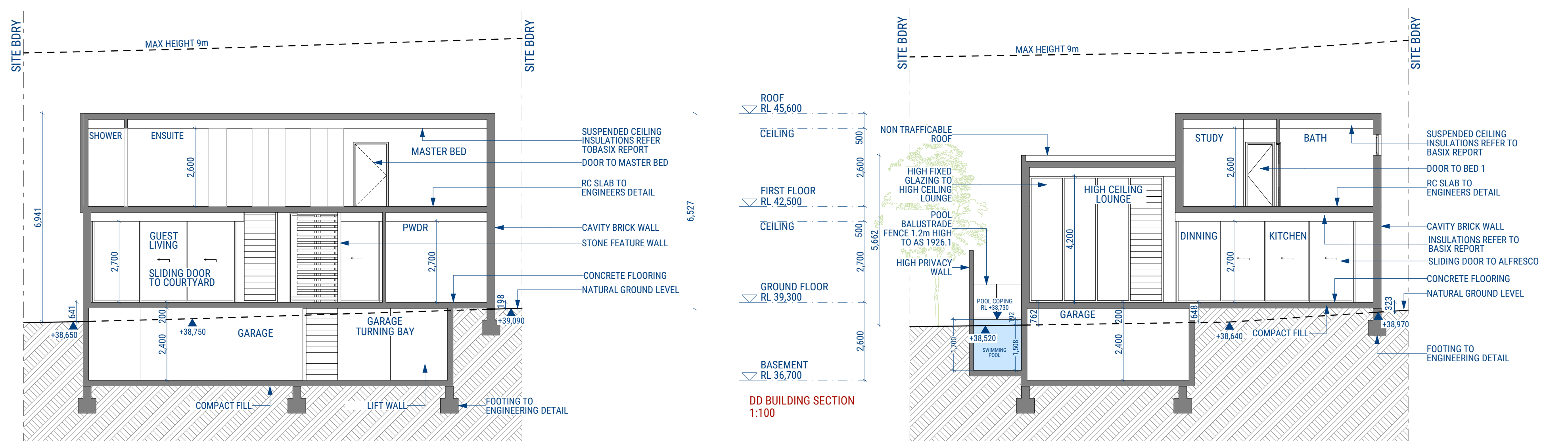
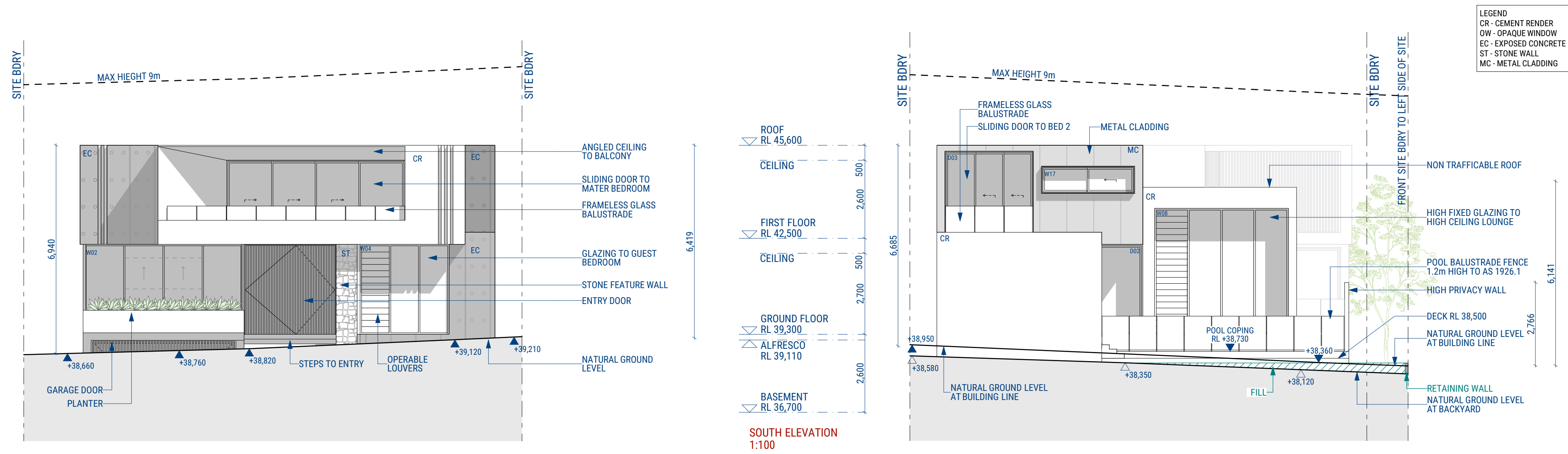
PROJECT NUMBER
23002

DRAWING TITLE
EAST ELEVATION + BB SECTION

DRAWING NUMBER SCALE ISSUE
DA 31 B

DRAWING STATUS
NOT FOR CONSTRUCTION

A2



FRONT FENCE ELEVATION
1:100

ISSUE	DATE	DESCRIPTION	APP BY
A	16/10/2023	ISSUE FOR APPROVAL	RM
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PROJECT DESCRIPTION
**NEW SINGLE DWELLING
2 STOREY HOUSE**

PROJECT LOCATION
**33 Russell Street GREENACRE
NSW 2190 Australia
LOT 20
DP 26321**

PROJECT NUMBER
23002

DRAWING TITLE
**NORTH + SOUTH + FENCE
ELEVATIONS AND CC + DD SECTIONS**

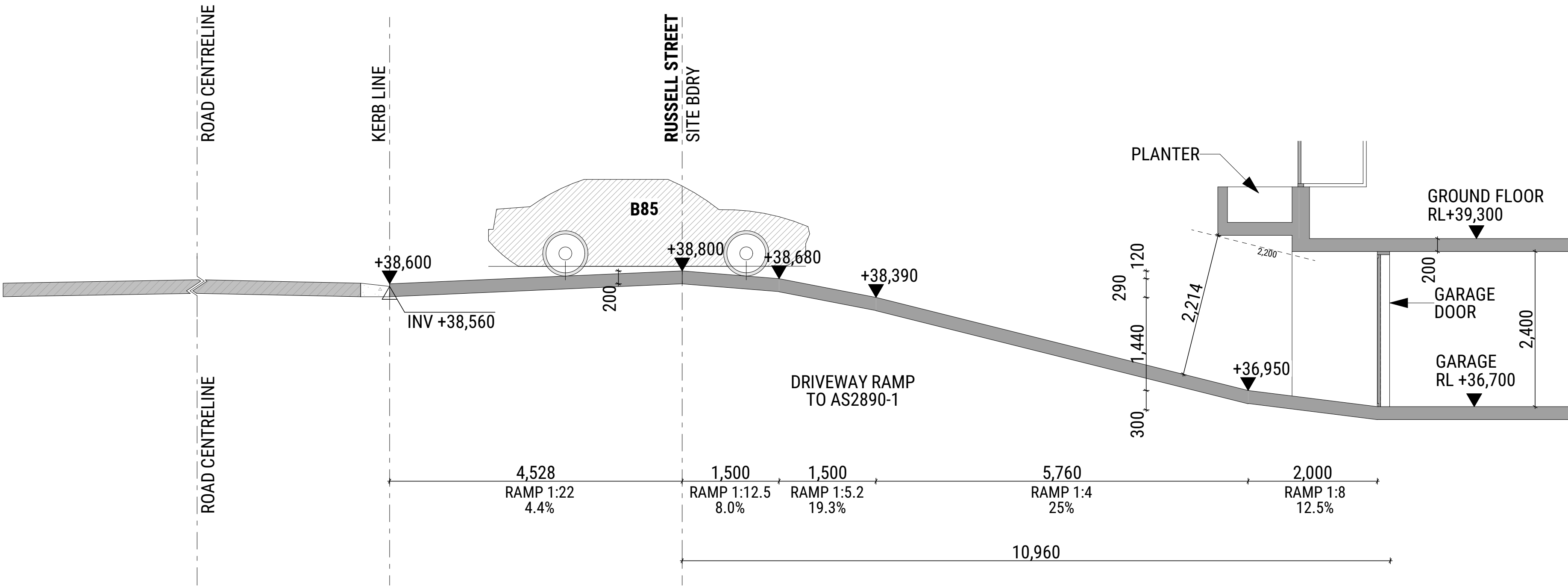
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DA 32

SCALE
1:100

ISSUE
B

DRAWING STATUS
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A2



FF RAMP SECTION
1:50

ISSUE	DATE	DESCRIPTION	APP BY
A	16/10/2023	ISSUE FOR APPROVAL	RM
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DEVELOPMENT APPLICATION

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CLIENT
Mr Sam Sharawneh

CONSULTANTS
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2. SDS ENGINEERING
3. PBAPTY

PROJECT DESCRIPTION
**NEW SINGLE DWELLING
2 STOREY HOUSE**

PROJECT LOCATION
**33 Russell Street GREENACRE
LOT 20
DP 26321**

PROJECT NUMBER
23002

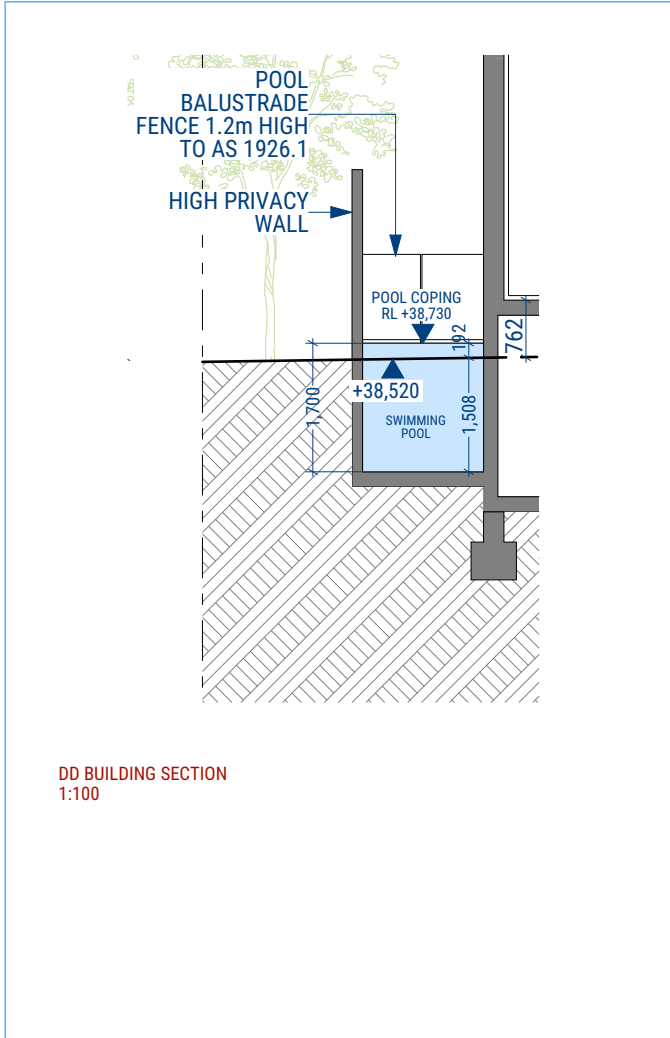
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DRAWING NUMBER
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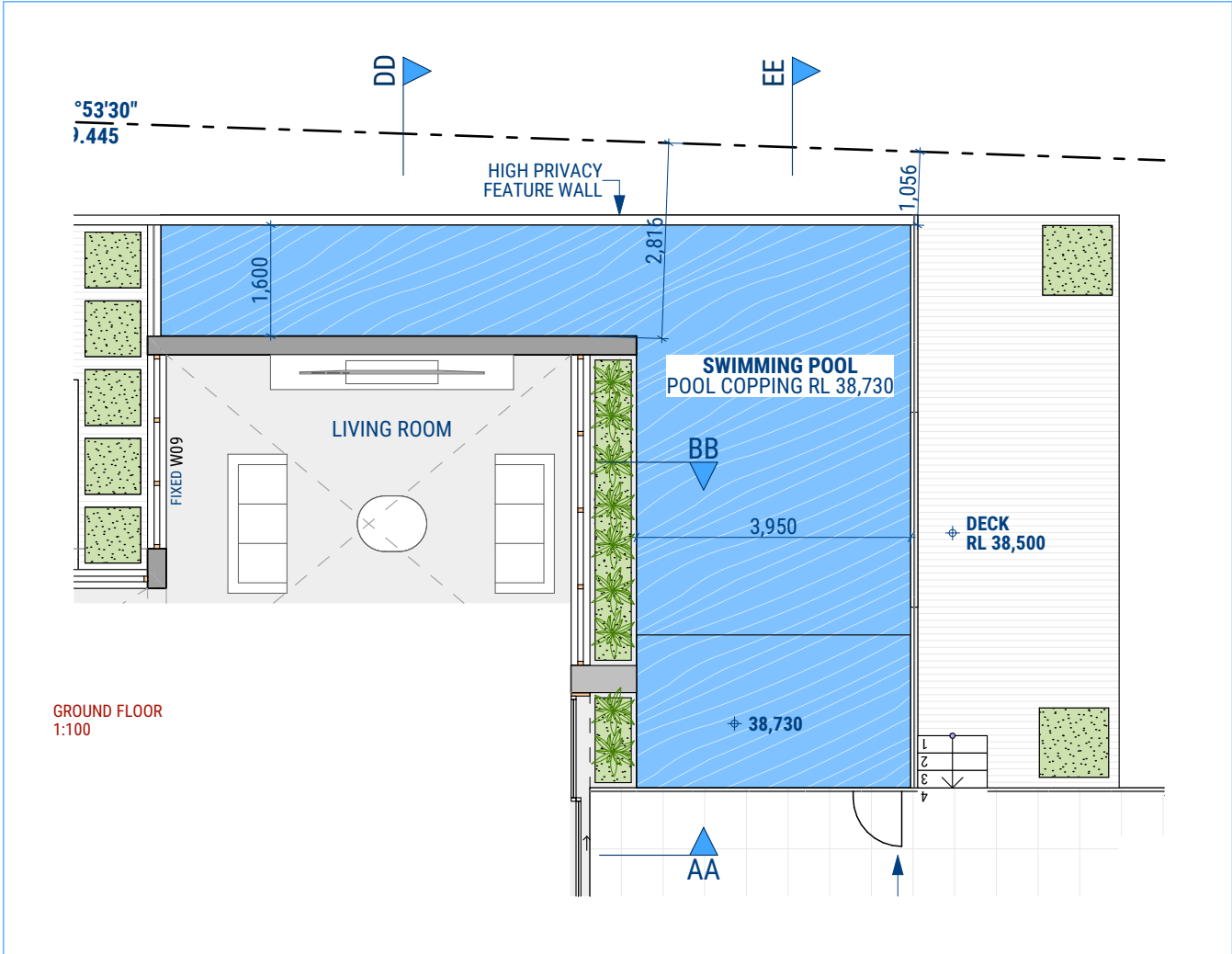
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ISSUE
B

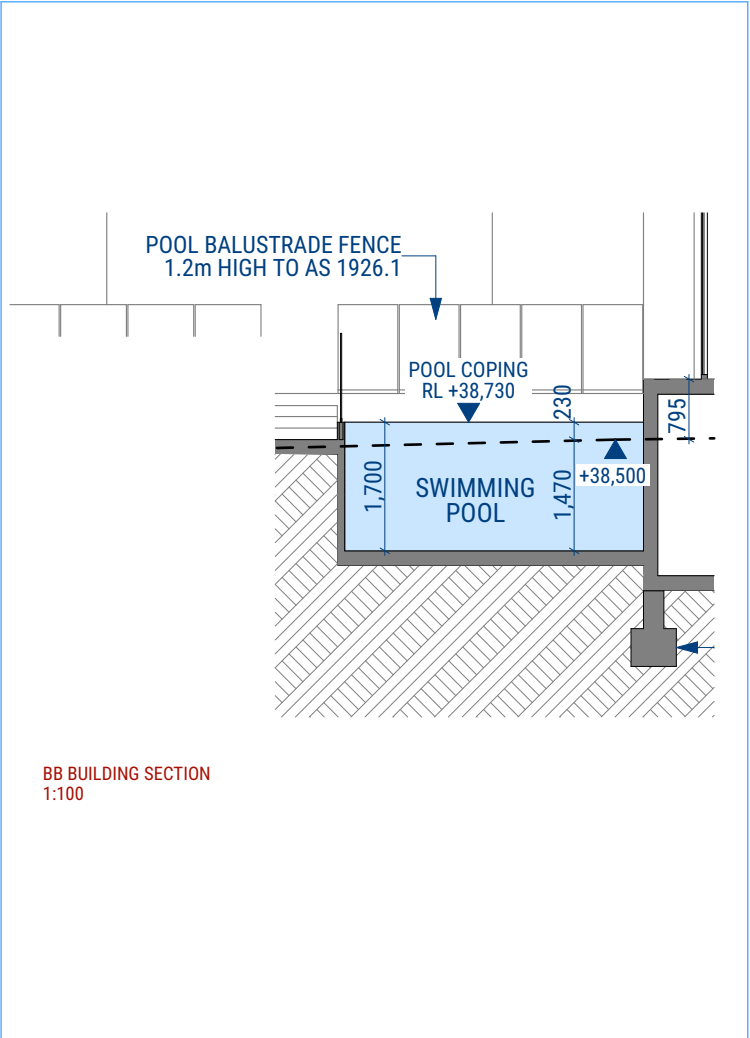
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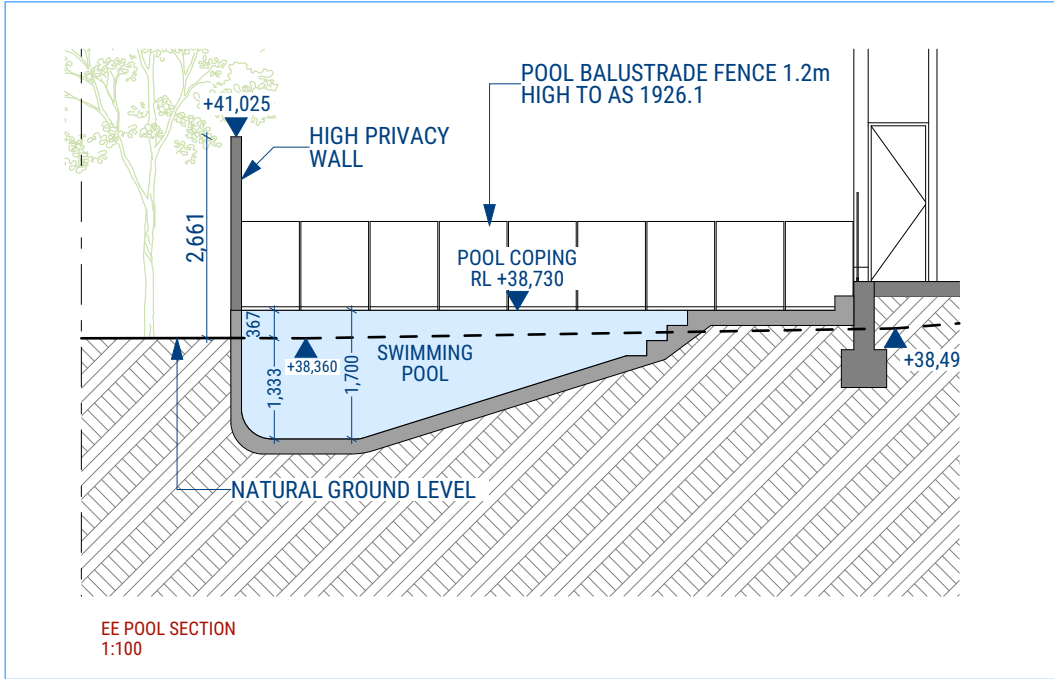
DD BUILDING SECTION
1:100



GROUND FLOOR
1:100



BB BUILDING SECTION
1:100



EE POOL SECTION
1:100

SWIMMING POOL REQUIREMENTS

GENERAL REQUIREMENTS

- ALL POOLS MUST BE SEPARATED FROM RESIDENTIAL BUILDINGS AND ADJOINING PUBLIC OR PRIVATE PROPERTIES BY A COMPLYING CHILD -RESISTANT BARRIER (MUST BE IN ACCORDANCE WITH THE REGULATIONS AND AS 1926.1-2012 SWIMMING POOL SAFETY).
- NO DOOR ACCESS FROM A RESIDENTIAL BUILDING INTO AN OUTDOOR POOL IS PERMITTED
- ONLY STRUCTURES ASSOCIATED WITH THE POOL (FILTERHOUSING , ETC.) ARE PERMITTED WITHIN THE ENCLOSED POOL AREA
- STRUCTURES SUCH AS CLOTHES LINES , BARBEQUE , SHEDS , ENTERTAINMENT STRUCTURE , OUTSIDE TOILETS , ETC. , MUST ALL BE LOCATED OUTSIDE THE CHILD RESISTANT BARRIER .
- POOL FENCING
- SWIMMING POOL FENCING AND OTHER BARRIERS TO BE PROVIDED TO THE POOL AREA IN ACCORDANCE WITH THE SWIMMING POOLS ACT 1992 .
- BOUNDARY FENCE TO BE 1.8m IN HEIGHT , MEASURED FROM INSIDE OF THE FENCING
- SWIMMING POOL FENCING TO BE AT LEAST 1.2m HIGH , MEASURED ON THE OUTSIDE OF THE FENCING .
- MINIMUM 900mm SEPARATION BETWEEN THE UPPER AND LOWER HORIZONTAL MEMBERS TO MAINTAIN NON -CLIMBABLE ZONE
- HORIZONTAL MEMBERS OF THE FENCE SHOULD BE PLACED ON THE INSIDE OF THE FENCE AND BE AT LEAST 900mm APART .
- THE LATCHING DEVICE TO THE POOL GATE IS TO BE LOCATED A MINIMUM 1.5m ABOVE GROUND LEVEL AND 1.4m FROM THE HIGHEST LOWER HORIZONTAL BARRIER MEMBER OR , ALTERNATIVELY , THE DEVICE IS TO BE LOCATED INSIDE THE GATE AND THE LATCHING DEVICE IS TO BE APPROPRIATELY SHIELDED FROM THE OUTSIDE IN ACCORDANCE WITH AS 1926.1-2012 (EXCLUDING CLAUSE 2.8 OF THE STANDARD) TO ENSURE THE LATCHING DEVICE IS ONLY ACCESSIBLE BY REACHING OVER THE GATE .
- GATE WIDTH IS TO BE KEPT TO A MINIMUM (NO MORE THAN 1 METRE) TO MINIMISE THE POSSIBILITY OF THE WEIGHT OF THE GATE CAUSING THE GATE TO DROP WITH THE SELF -LATCHING MECHANISM FAILING .
- SPA POOLS
- SPA POOLS ARE ALSO COVERED BY THE LEGISLATION AND SHOULD BE SEPARATED BY A CHILD -RESISTANT POOL SAFETY BARRIER IN ACCORDANCE

WITH AUSTRALIAN STANDARD AS 1926.1-2012.

- ALTERNATIVELY , THE SPA POOL MUST BE COVERED AND SECURED BY A LOCKABLE CHILD -SAFE STRUCTURE (SUCH AS A DOOR , LID , GRILLE OR MESH) . SUCH LOCKABLE STRUCTURE MUST BE ABLE TO BE REMOVED /INSTALLED AND LOCKED BY A SINGLE PERSON .
- RESUSCITATION WARNING SIGN
- AN APPROPRIATE RESUSCITATION WARNING SIGN (AVAILABLE FROM COUNCIL OR THE ROYAL LIFE SAVING SOCIETY) IS DISPLAYED IN A PROMINANT POSITION IN THE IMMEDIATE VICINITY OF THE POOL AREA .
- THE SPACING OF VERTICAL MEMBERS OF THE FENCE SHALL NOT EXCEED 100mm .
- THE HEIGHT OF ANY OPENING BETWEEN THE BOTTOM OF THE FENCE AND FINISHED GROUND LEVEL SHALL NOT EXCEED 100mm .
- ALL SWIMMING POOL FENCING TO BE MAINTAINED IN A GOOD CONDITION (ie. WITH NO HOLES , BROKEN OR LOOSE PALINGS) .
- NON -CLIMBABLE ZONE EXTENDS FROM THE POOL FENCE 300mm INTO THE POOL AREA AND 900mm OUTSIDE THE POOL AREA . TO PREVENT A CHILD TO CLIMB OVER THE FENCE , CLIMBABLE OBJECTS SUCH AS BARBEQUES , FURNITURE , PLANTER BOXES , TREES OR SHRUB ARE NOT PERMITTED WITHIN THIS NON -CLIMBABLE ZONE
- IF THE WALL OF THE HOUSE FORMS PART OF THE APPROVED CHILD -RESISTANT BARRIER TO THE POOL AREA (ie. IN RELATION TO POOLS INSTALLED BEFORE 1 AUGUST 1990) , ALL DOOR AND WINDOW OPENINGS IN THE WALL /S MUST BE CHILD -RESISTANT IN ACCORDANCE WITH THE REGULATIONS TO PREVENT CHILDREN ACCESSING THE POOL AREA .
- POOL GATES
- GATES TO THE SWIMMING POOL AREA ARE TO OPEN OUTWARDS AND ARE TO BE FULLY SELF -CLOSING AND SELF -LATCHING FROM ANY OPEN POSITION .
- NO DOUBLE GATES ARE PERMITTED
- GATES ARE NOT TO BE PROPPED OPEN AT ANY TIME .
- THE FOLLOWING WARNING STATEMENTS MUST BE CONTAINED WITHIN THE RESUSCITATION SIGN :
 - YOUNG CHILDREN SHOULD BE SUPERVISED WHEN USING THIS SWIMMING POOL
 - POOL GATES MUST BE KEPT CLOSED AT ALL TIMES
 - KEEP ARTICLES , OBJECTS AND STRUCTURES AT LEAST 900 MM CLEAR OF THE POOL FENCE AT ALL TIMES

- THE RESUSCITATION SIGN MUST BE :
 - LEGIBLE FROM A DISTANCE OF AT LEAST THREE METRES
 - MAINTAINED IN A CLEARLY LEGIBLE CONDITION
- REFER TO THE SWIMMING POOLS ACT 1992 , THE SWIMMING POOLS REGULATION 2018 AND AUSTRALIAN STANDARD AS 1926.1-2012 (EXCLUDING CLAUSE 2.8 OF THE STANDARD) FOR A COMPLETE LIST OF REQUIREMENTS

ISSUE	DATE	DESCRIPTION	APP BY
A	16/10/2023	ISSUE FOR APPROVAL	RM
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DEVELOPMENT APPLICATION

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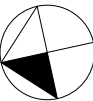
CLIENT
Mr Sam Sharawneh

CONSULTANTS
**1. NSW LAND SERVICES
2. SDS ENGINEERING
3. PBAPTY**

PROJECT DESCRIPTION
**NEW SINGLE DWELLING
2 STOREY HOUSE**

PROJECT LOCATION
**33 Russell Street GREENACRE
NSW 2190 Australia
LOT 20
DP 26321**

PROJECT NUMBER
23002



DRAWING TITLE
POOL PLAN AND SECTIONS

DRAWING NUMBER SCALE ISSUE
DA 34 B

DRAWING STATUS
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A3



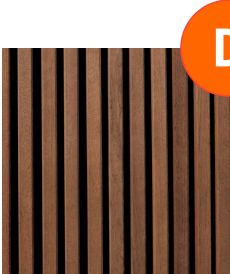
RAW CONCRETE
FINISH



CEMENT RENDER
DULUX
NATURAL WHITE



SELECTED
LIGHT COLOUR
STONE



WESTERN RED CEDAR
TIMBER

ISSUE	DATE	DESCRIPTION	APP BY
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33 Russell Street GREENACRE
NSW 2190 Australia
LOT 20
DP 26321

PROJECT NUMBER
23002



DRAWING TITLE
FINISHES SCHEDULE

DRAWING NUMBER
DA 40

SCALE

ISSUE
A

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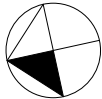
CLIENT
Mr Sam Sharawneh

CONSULTANTS
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PROJECT DESCRIPTION
NEW SINGLE DWELLING
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33 Russell Street GREENACRE
NSW 2190 Australia
LOT 20
DP 26321

PROJECT NUMBER
23002



DRAWING TITLE
3D VIEWS

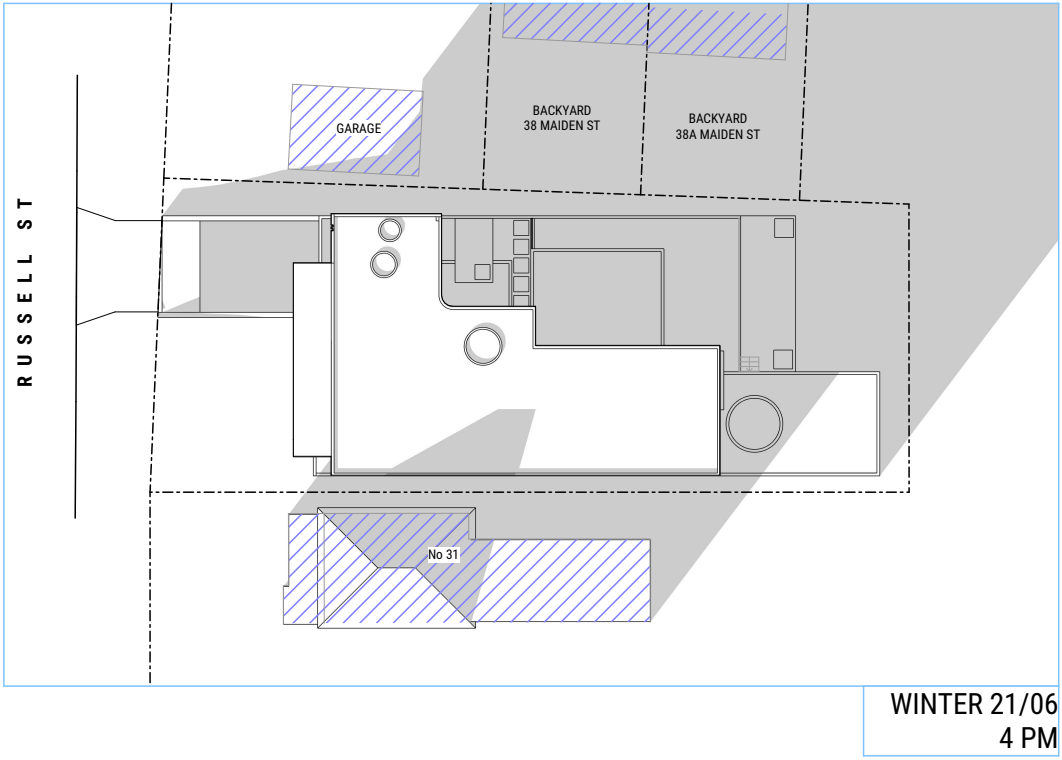
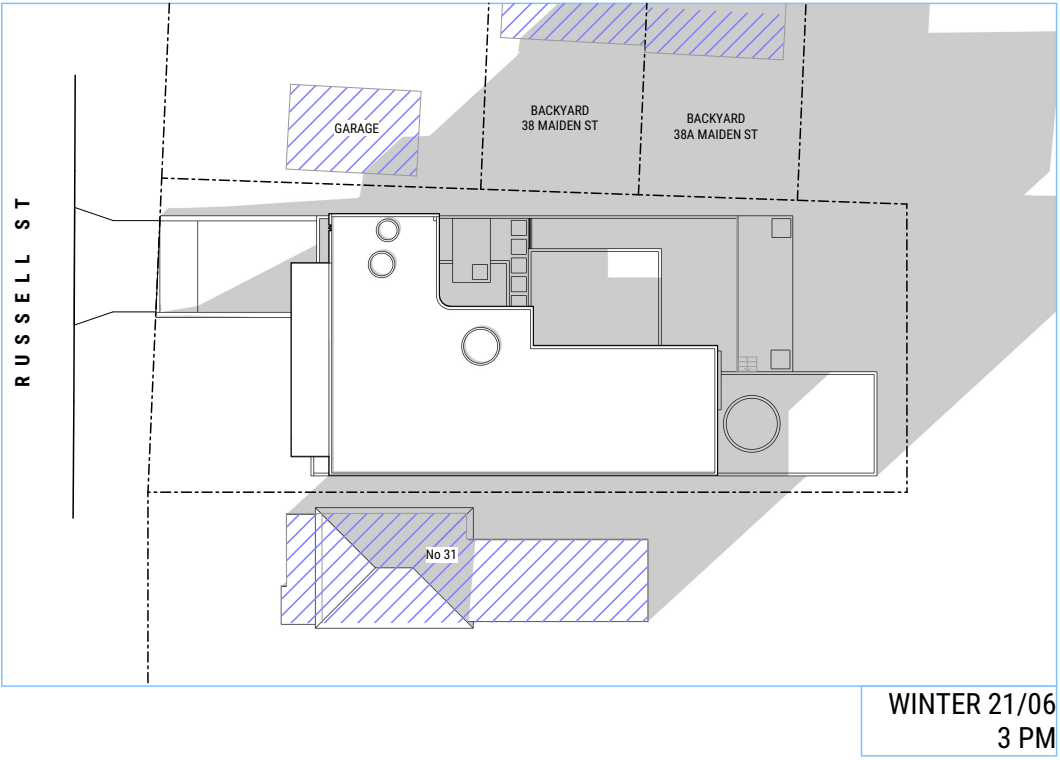
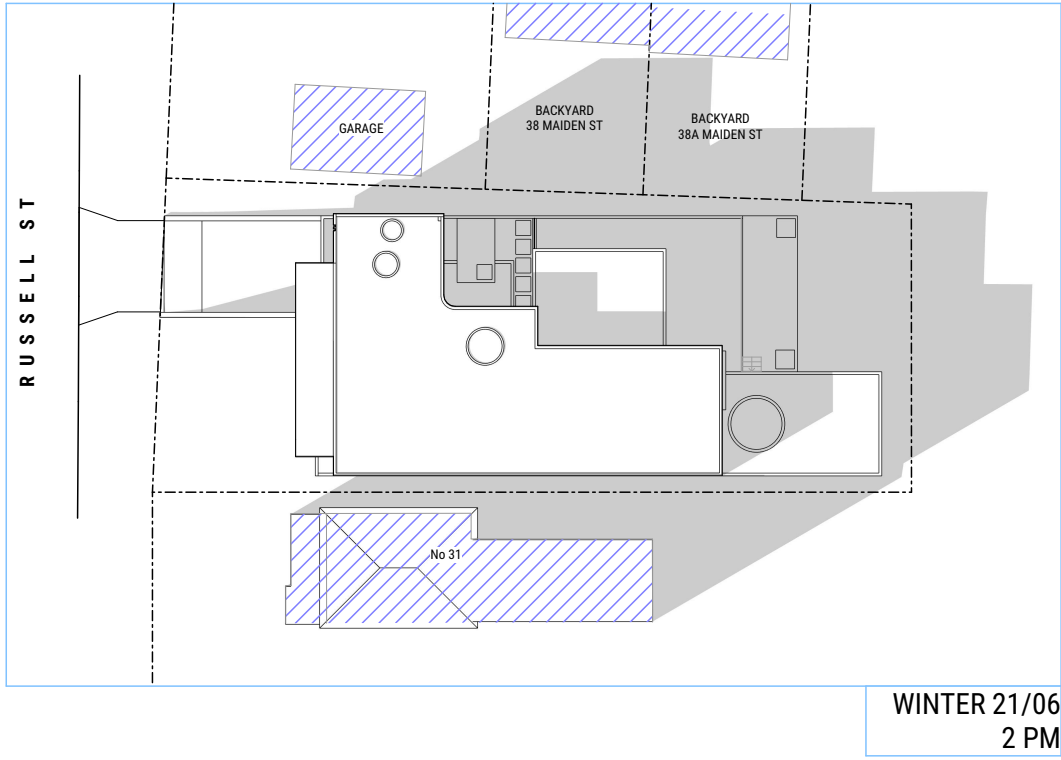
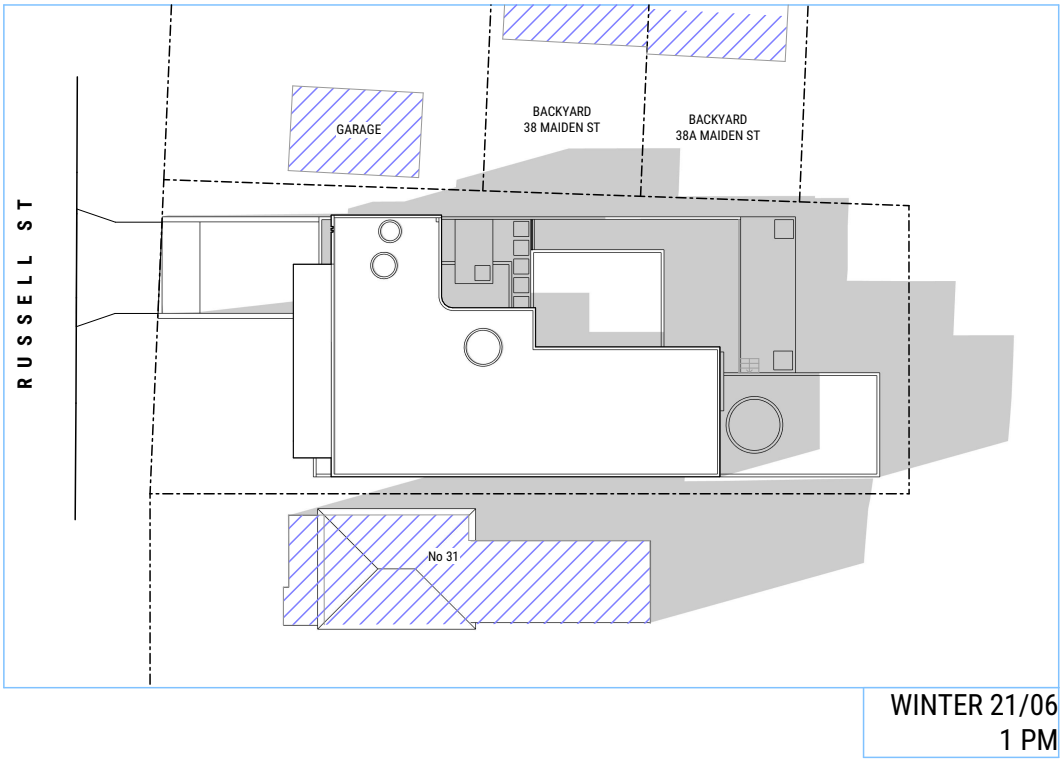
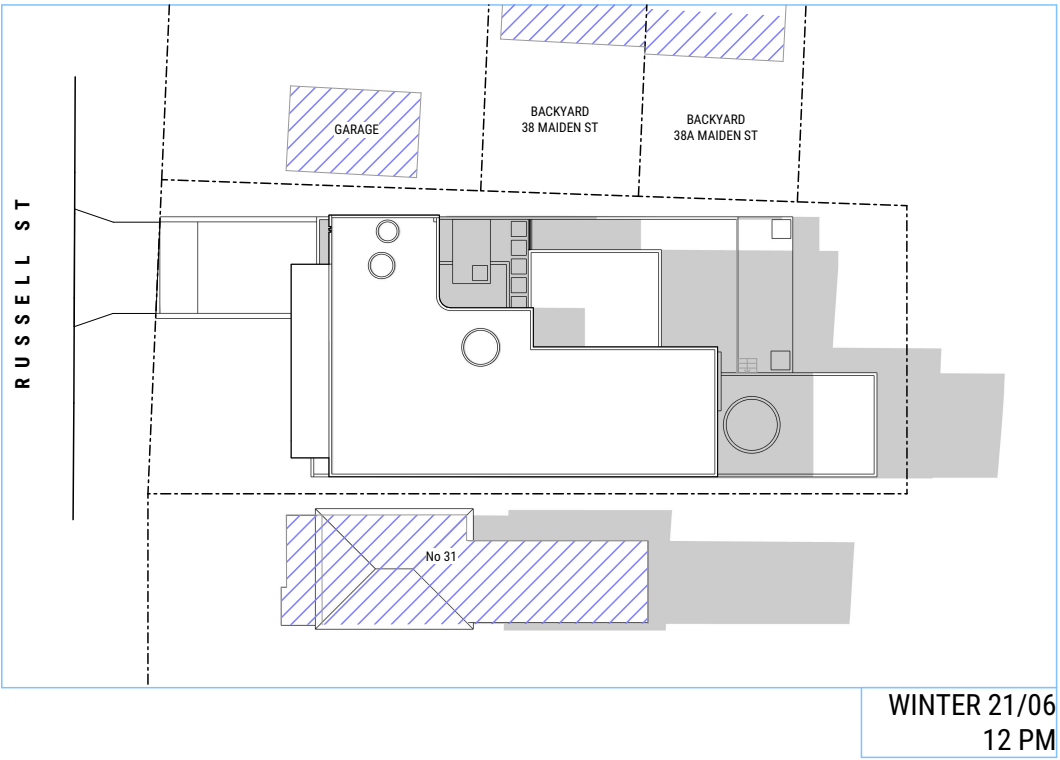
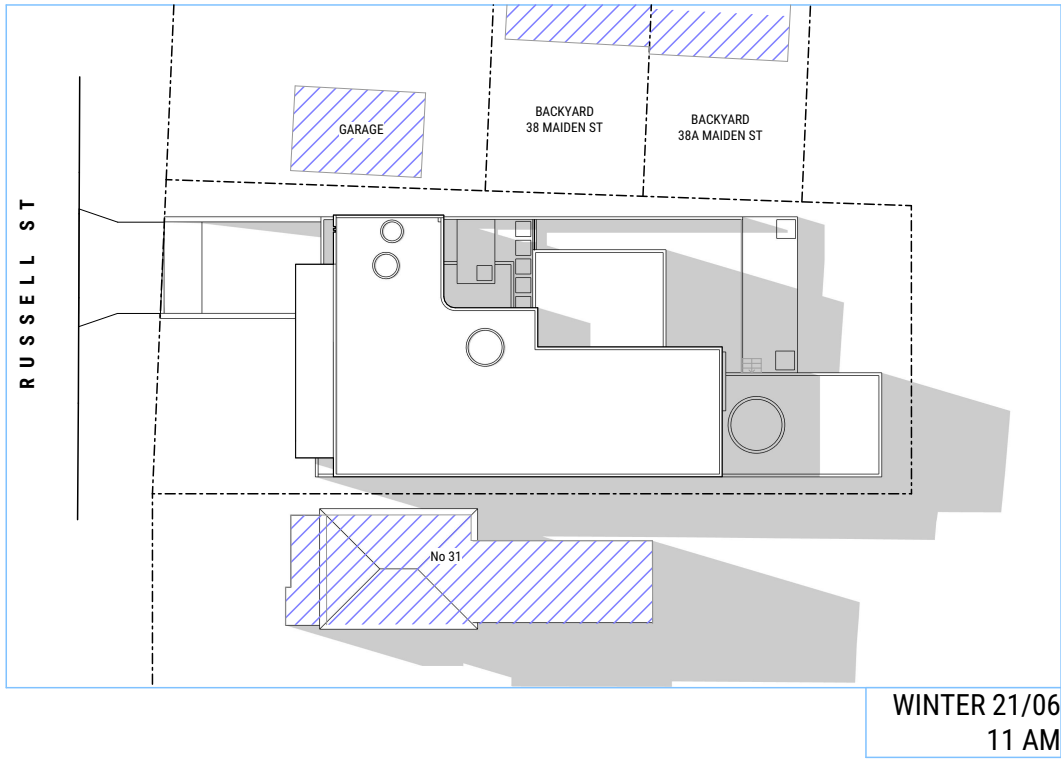
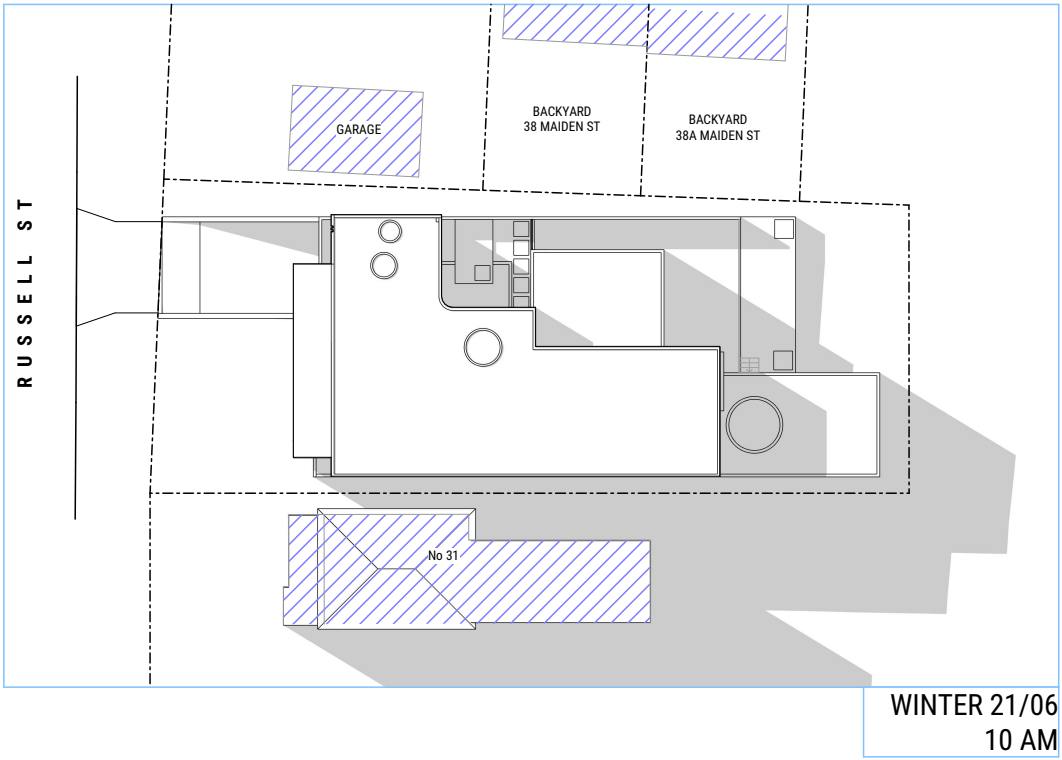
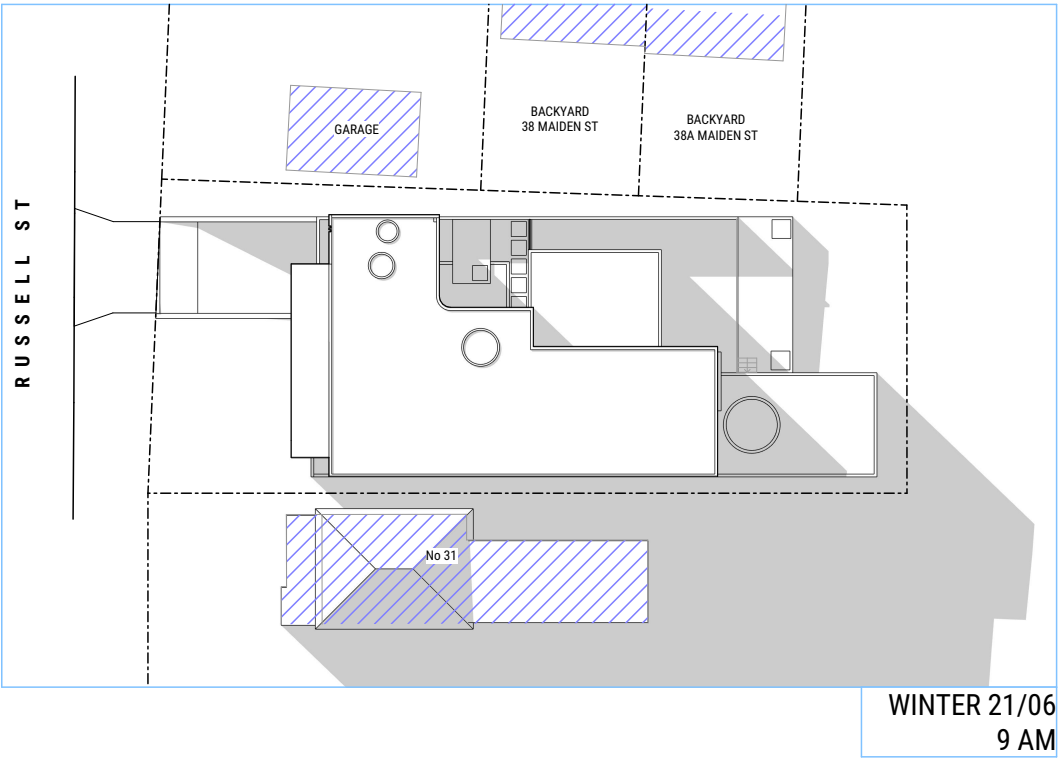
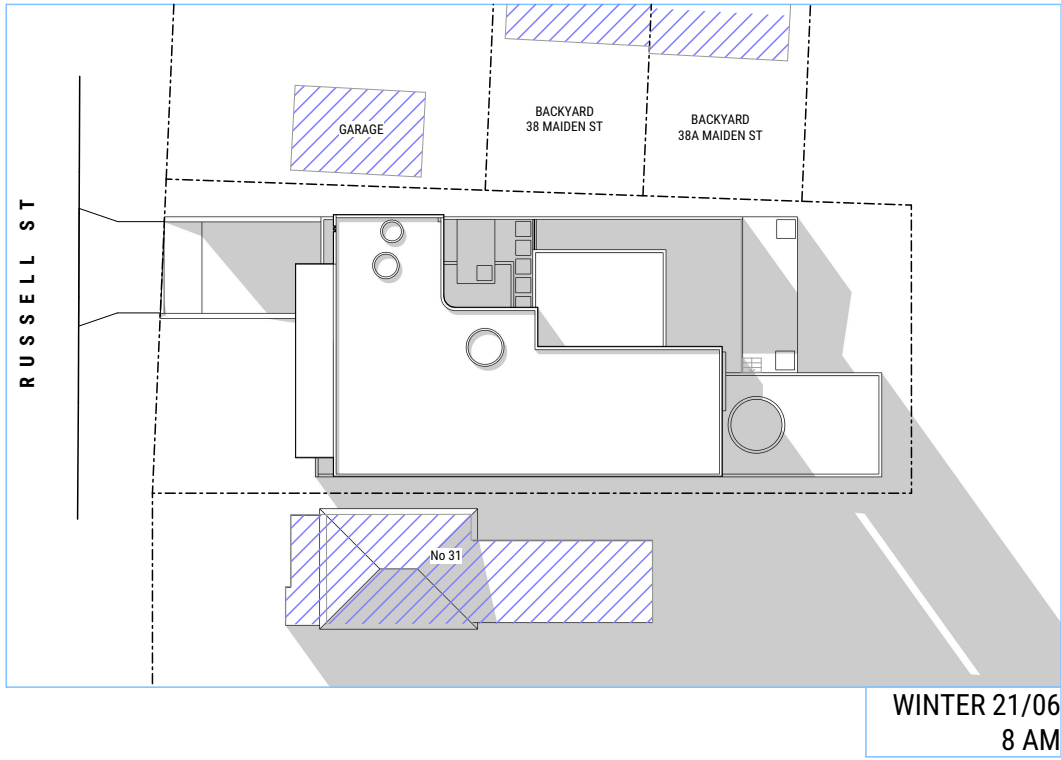
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SCALE

ISSUE
A

A3



ISSUE	DATE	DESCRIPTION	APP BY
A	16/10/2023	ISSUE FOR APPROVAL	RM
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CONSULTANTS
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PROJECT DESCRIPTION
NEW SINGLE DWELLING
2 STOREY HOUSE

PROJECT LOCATION
33 Russell Street GREENACRE
NSW 2190 Australia
LOT 20
DP 26321

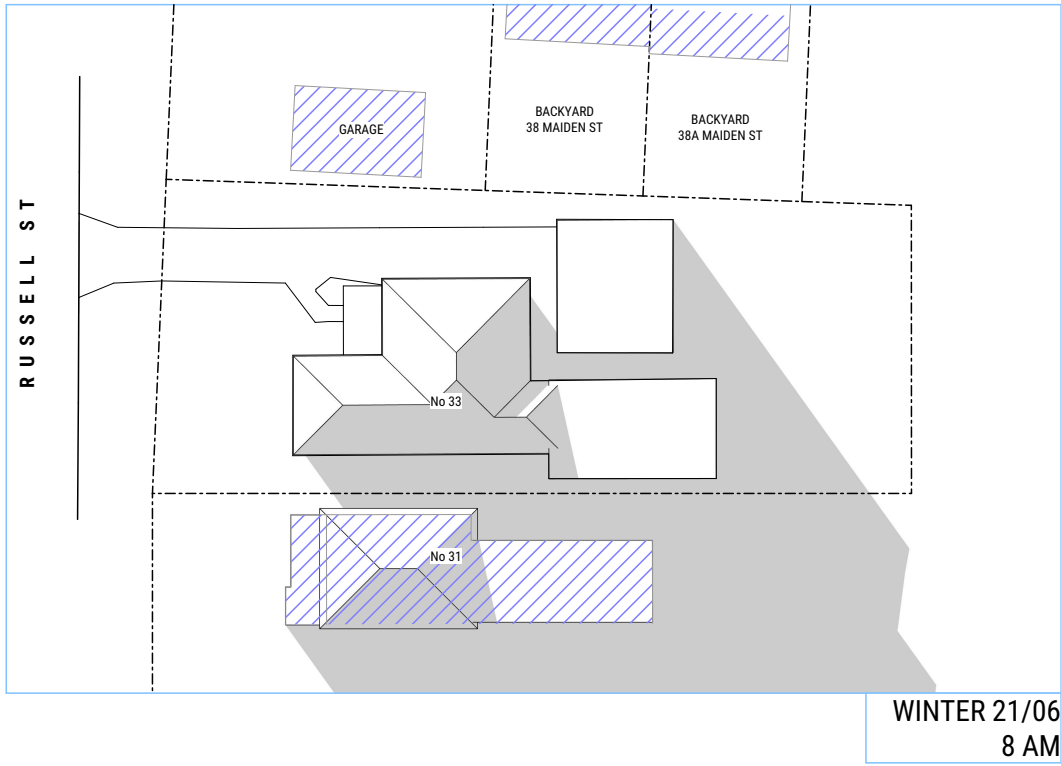
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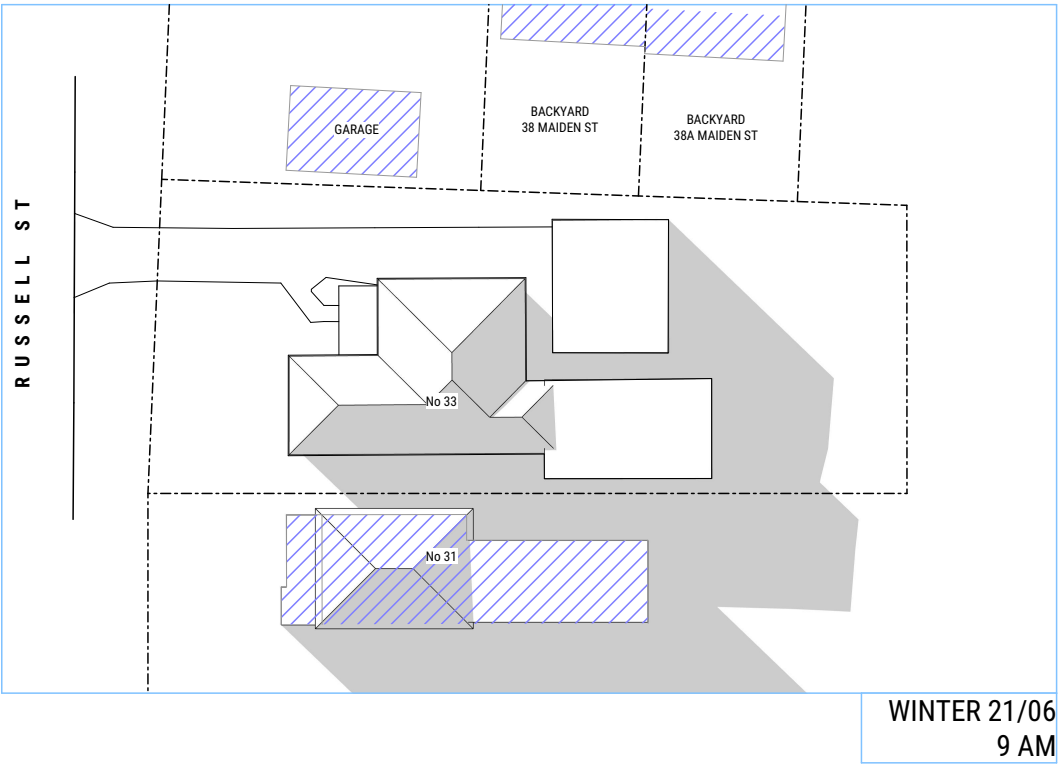
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SHADOW DIAGRAMS WINTER -
PROPOSED

DRAWING NUMBER SCALE ISSUE
DA 50 1:400 B

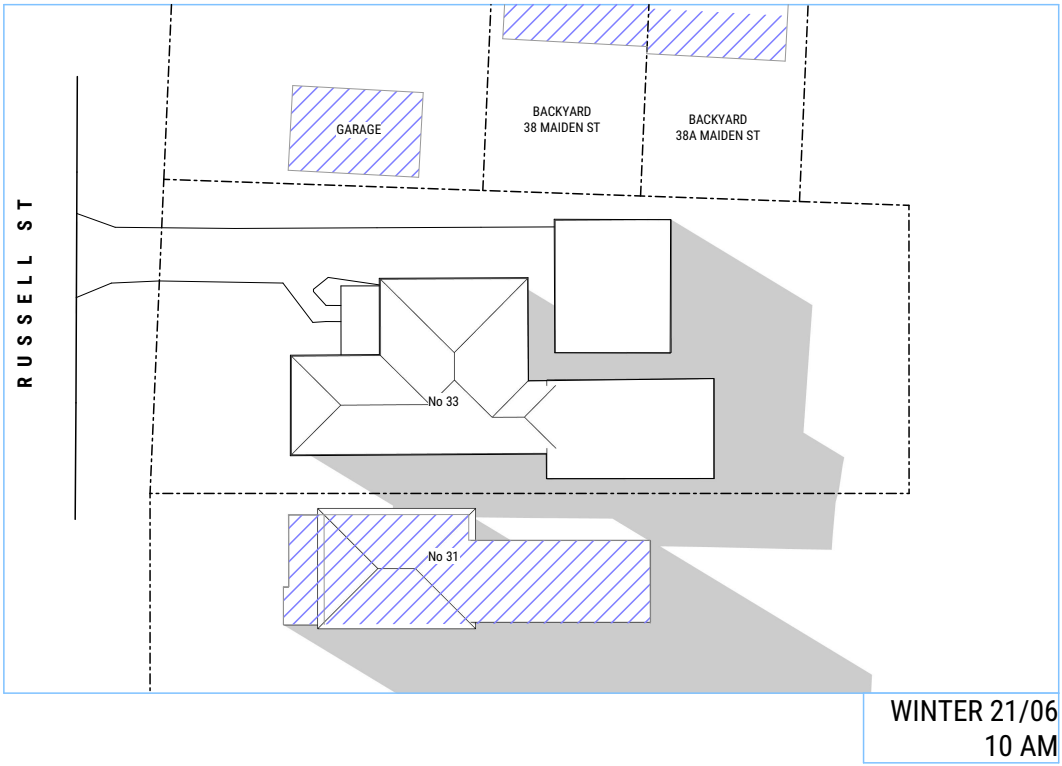
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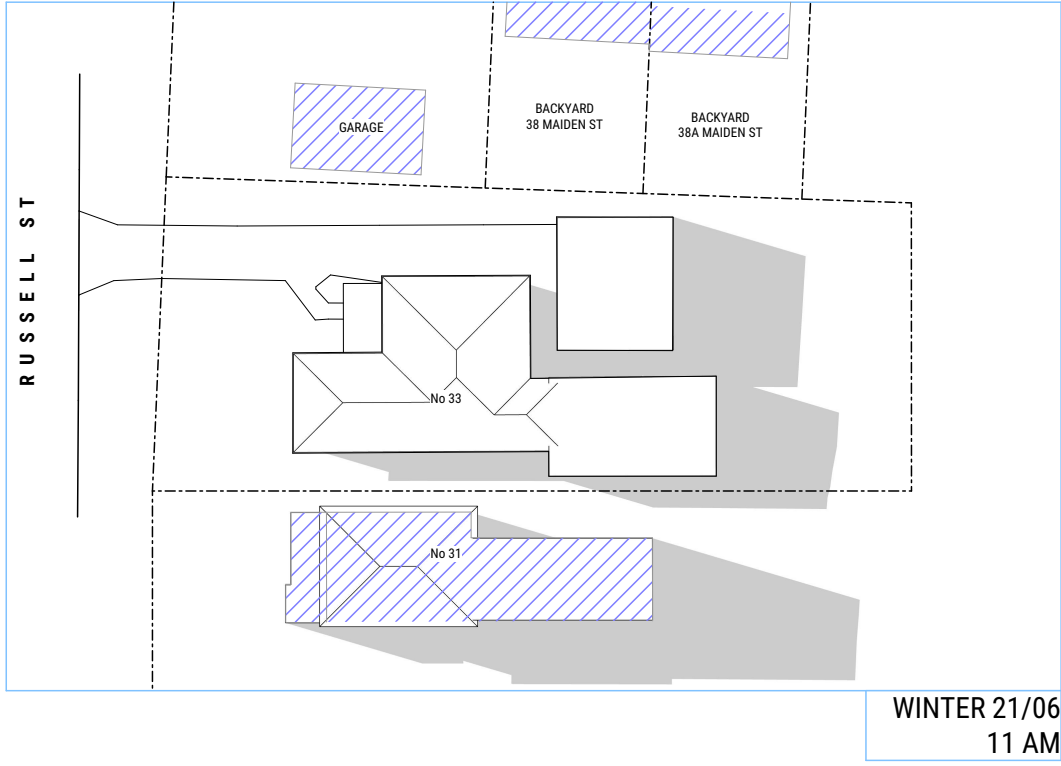
WINTER 21/06
8 AM



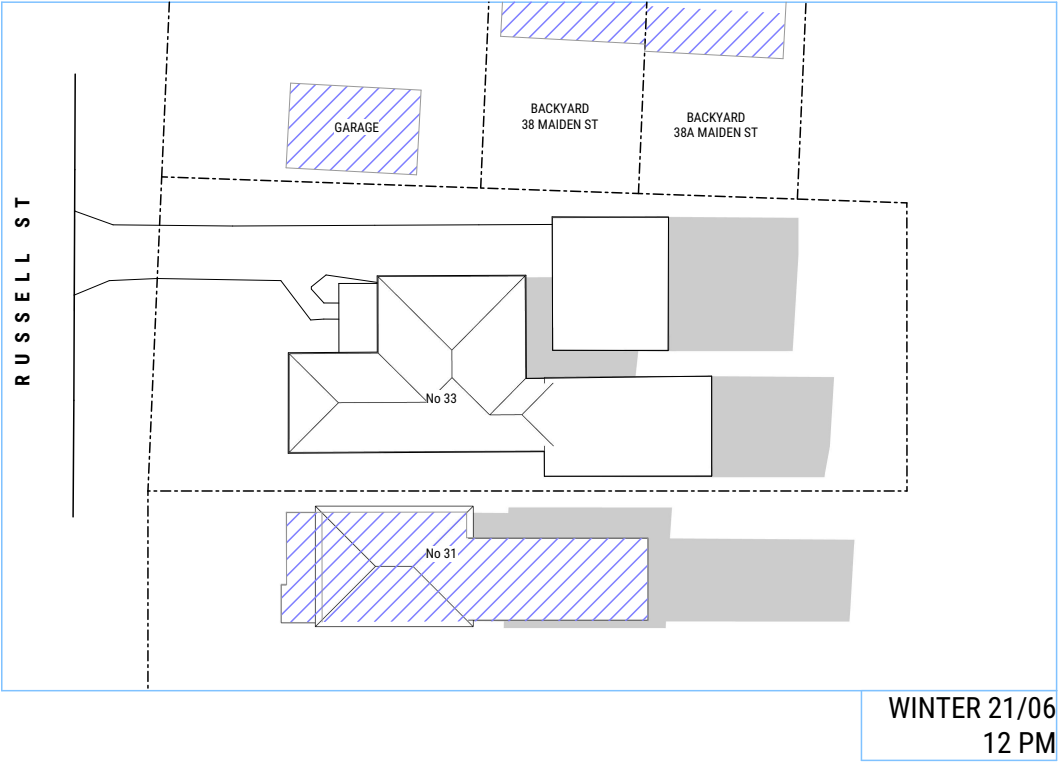
WINTER 21/06
9 AM



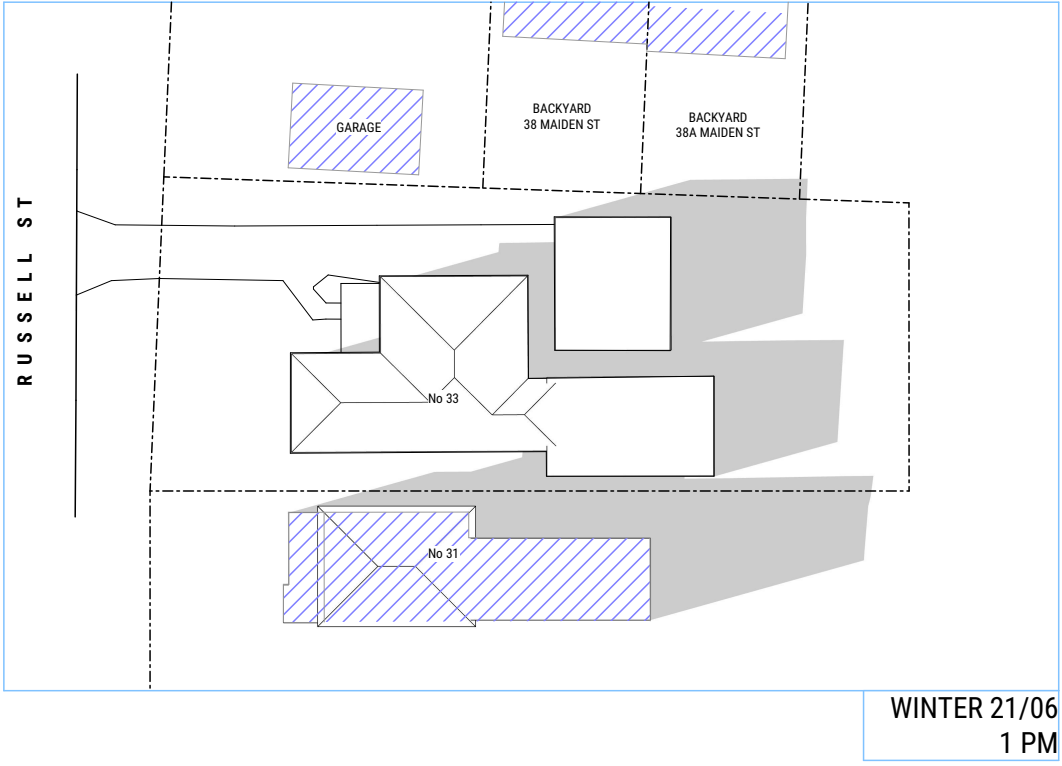
WINTER 21/06
10 AM



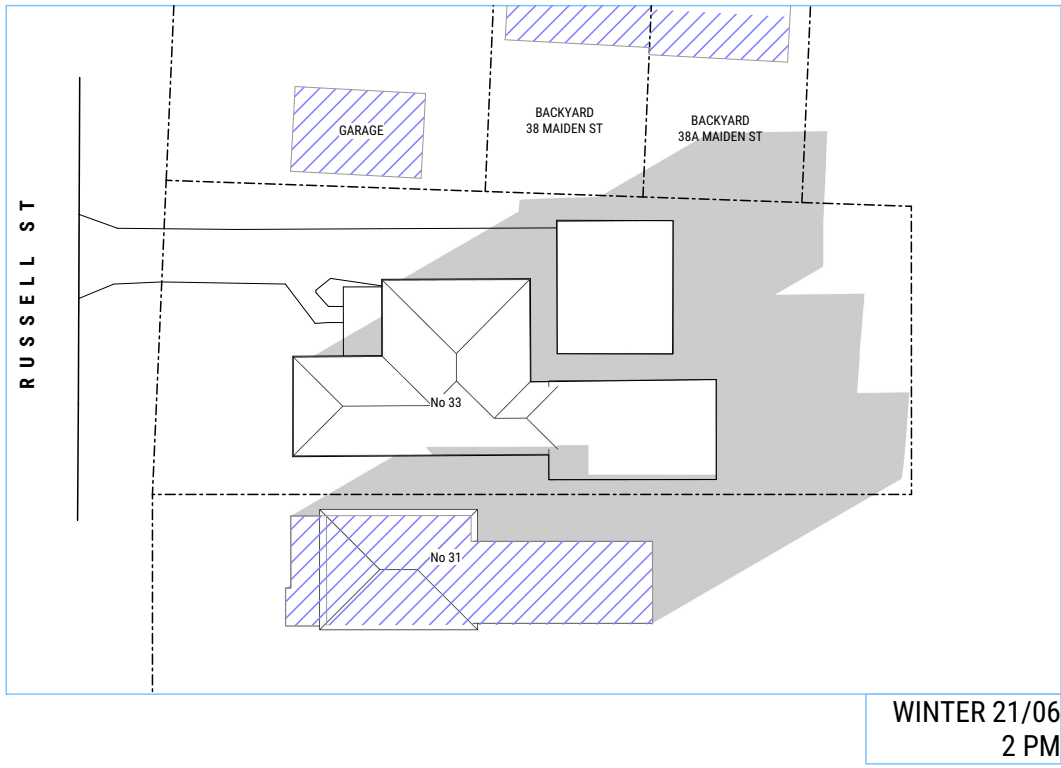
WINTER 21/06
11 AM



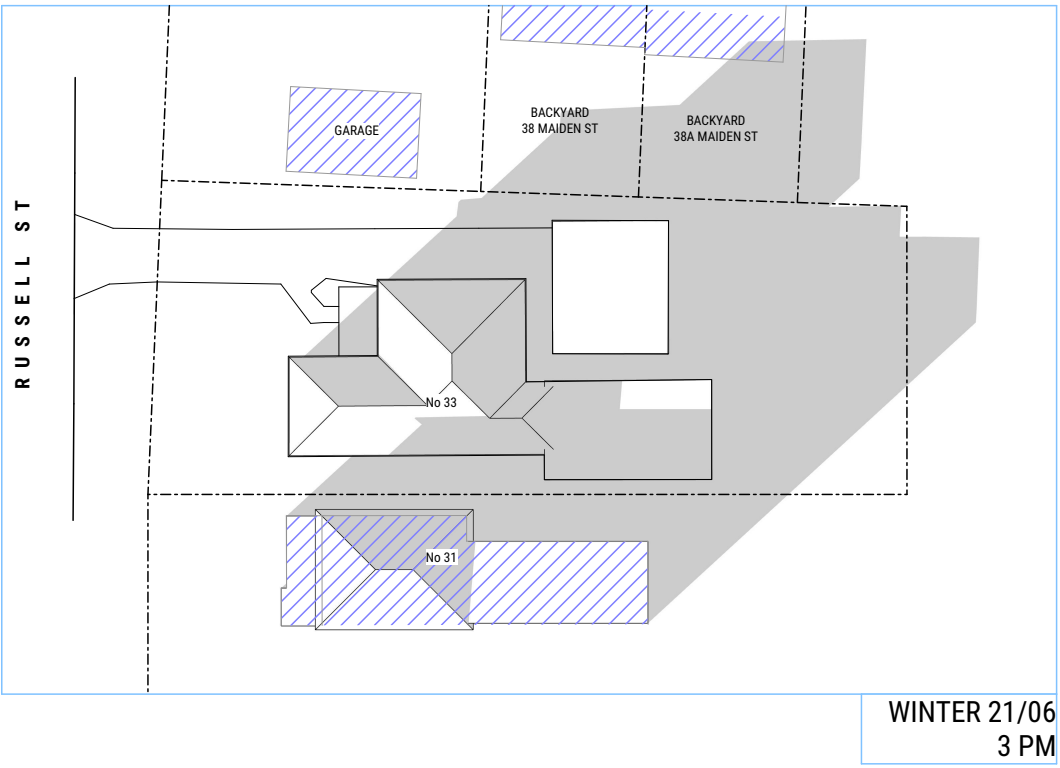
WINTER 21/06
12 PM



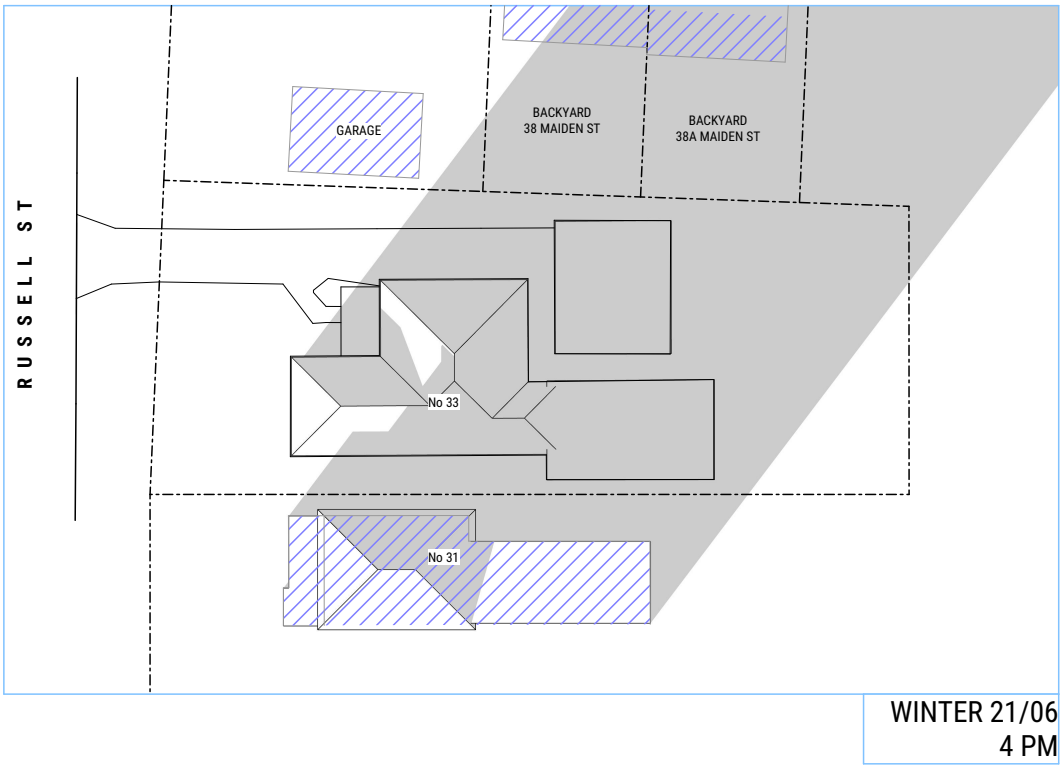
WINTER 21/06
1 PM



WINTER 21/06
2 PM



WINTER 21/06
3 PM



WINTER 21/06
4 PM

ISSUE	DATE	DESCRIPTION	APP BY
A	16/10/2023	ISSUE FOR APPROVAL	RM

DEVELOPMENT APPLICATION

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Designer / 0405 204 511 / rabi@rmdesigners.com

CLIENT
Mr Sam Sharawneh

CONSULTANTS
**1. NSW LAND SERVICES
2. SDS ENGINEERING
3. PBAPTY**

PROJECT DESCRIPTION
**NEW SINGLE DWELLING
2 STOREY HOUSE**

PROJECT LOCATION
**33 Russell Street GREENACRE
LOT 20
DP 26321**

PROJECT NUMBER
23002

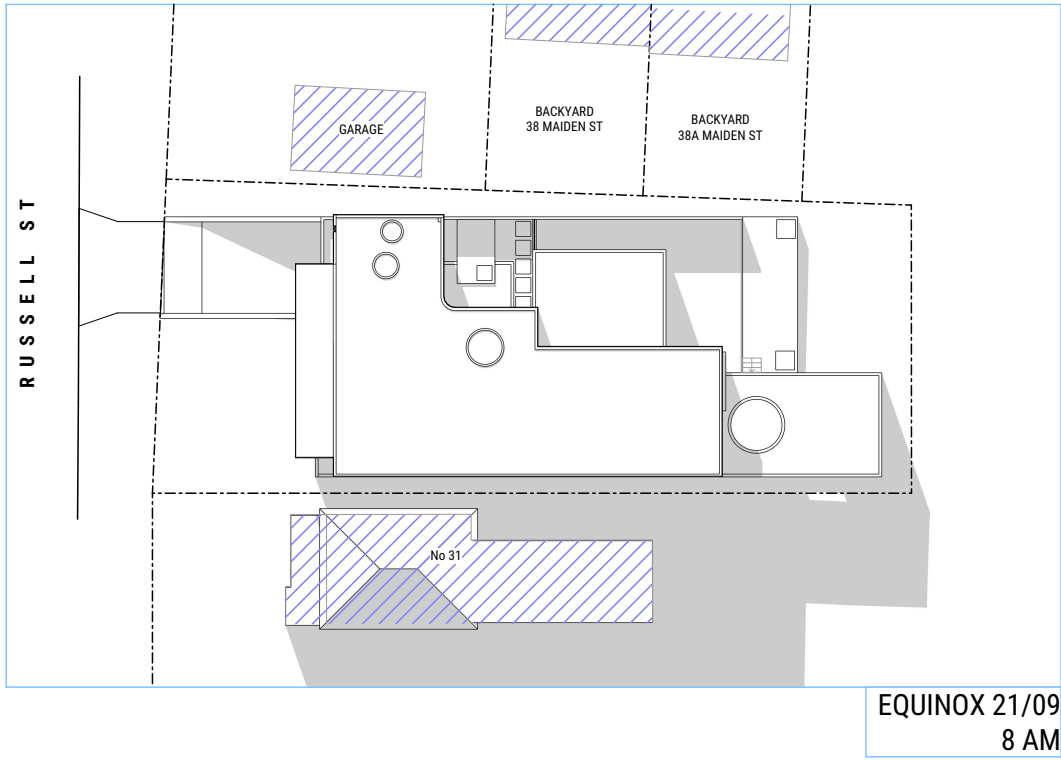


DRAWING TITLE
**SHADOW DIAGRAMS WINTER -
EXISTING**

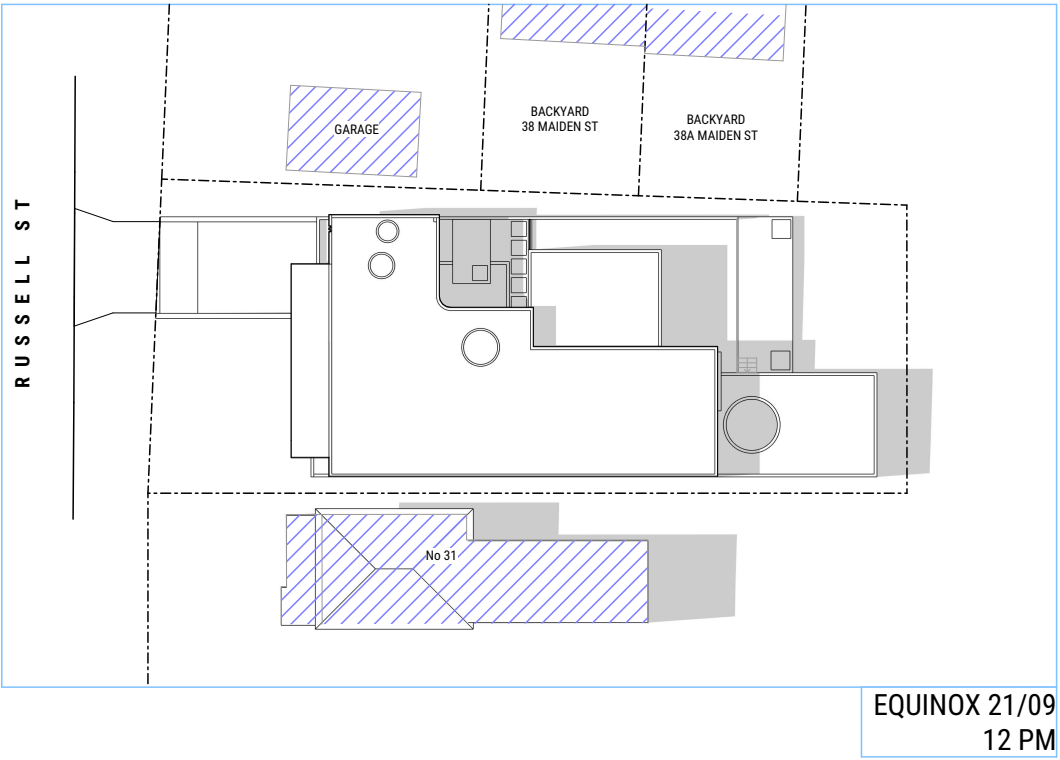
DRAWING NUMBER SCALE ISSUE
DA 51 1:400 A

DRAWING STATUS
NOT FOR CONSTRUCTION

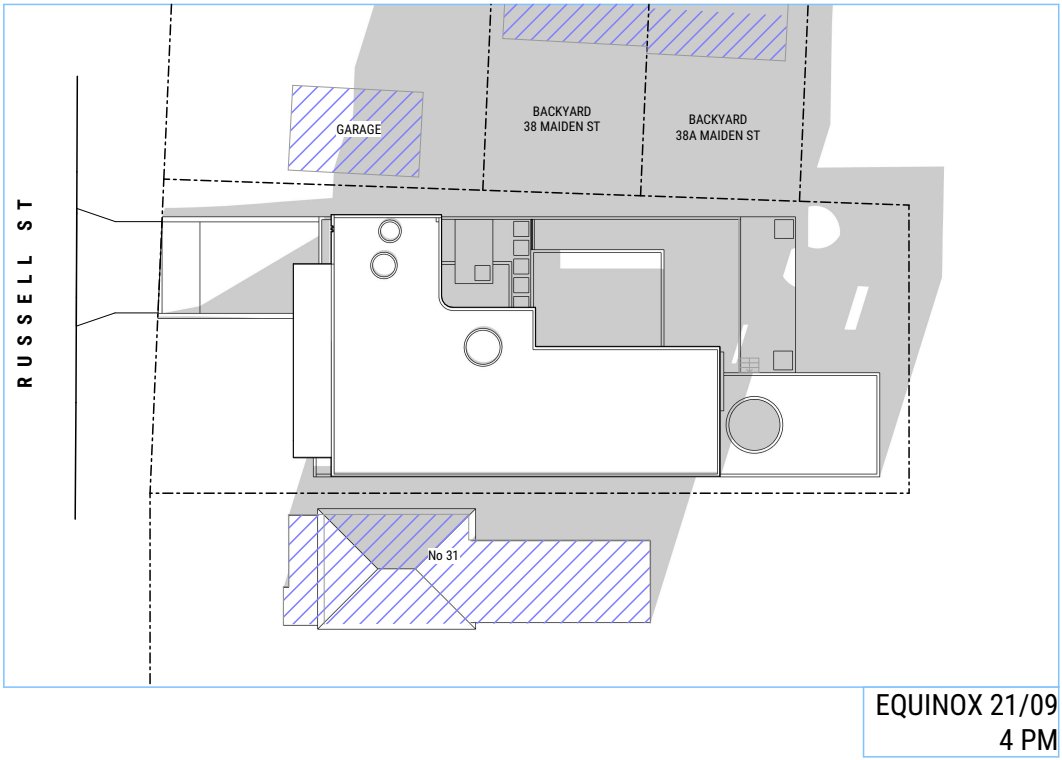
A2



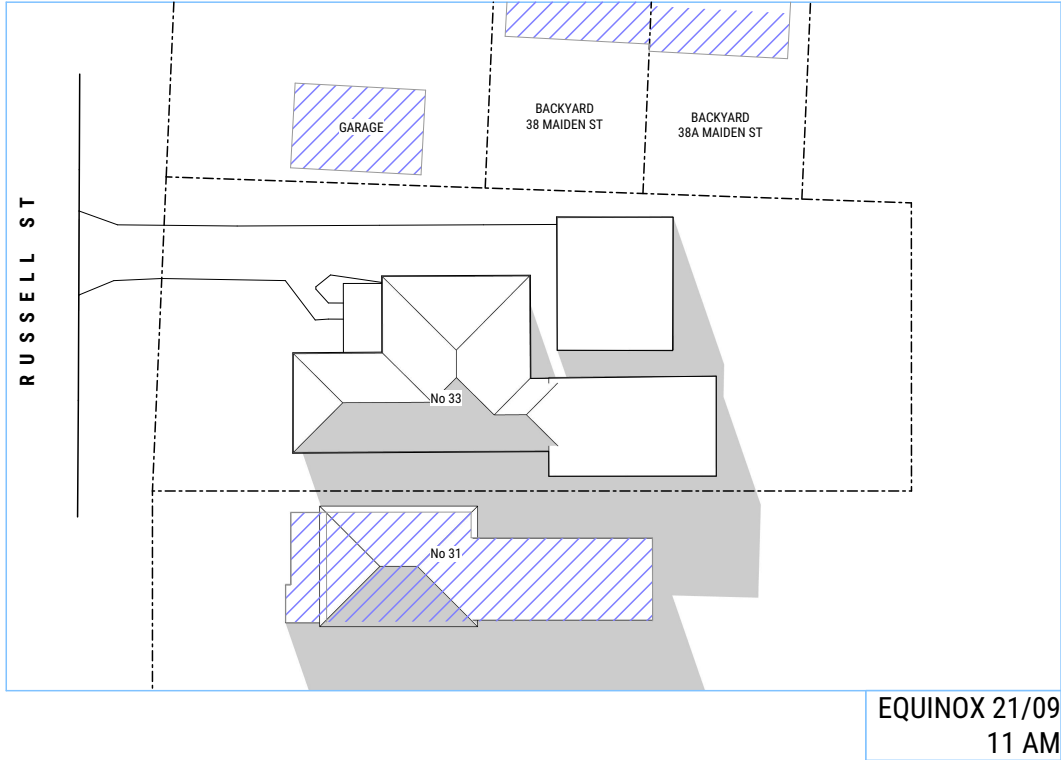
EQUINOX 21/09
8 AM



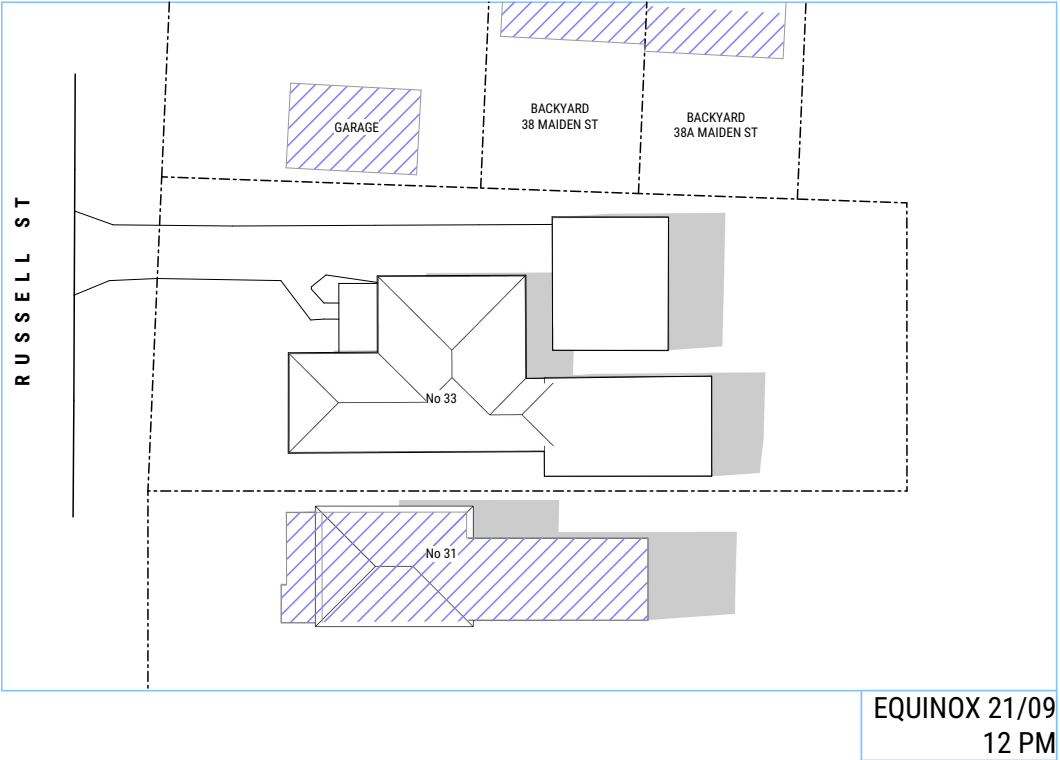
EQUINOX 21/09
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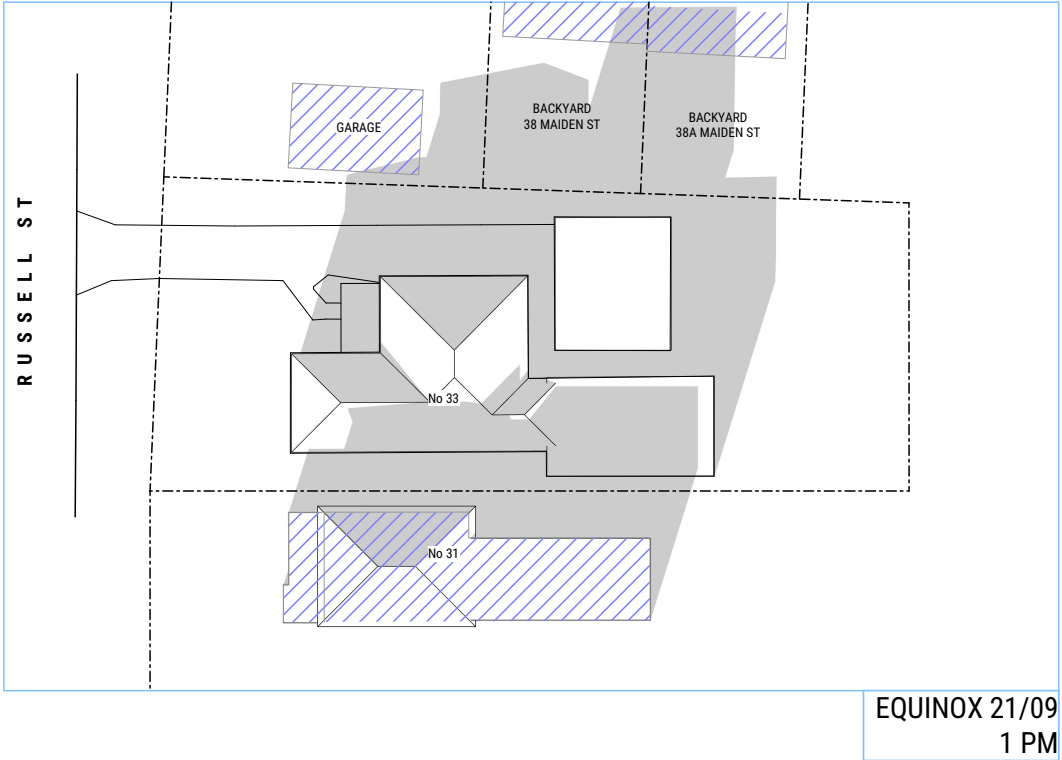
EQUINOX 21/09
4 PM



EQUINOX 21/09
11 AM



EQUINOX 21/09
12 PM



EQUINOX 21/09
1 PM

ISSUE	DATE	DESCRIPTION	APP BY
A	16/10/2023	ISSUE FOR APPROVAL	RM
B	08/01/2023	ISSUE FOR APPROVAL	RM

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PROJECT DESCRIPTION
**NEW SINGLE DWELLING
2 STOREY HOUSE**

PROJECT LOCATION
**33 Russell Street GREENACRE
LOT 20
DP 26321**

PROJECT NUMBER
23002

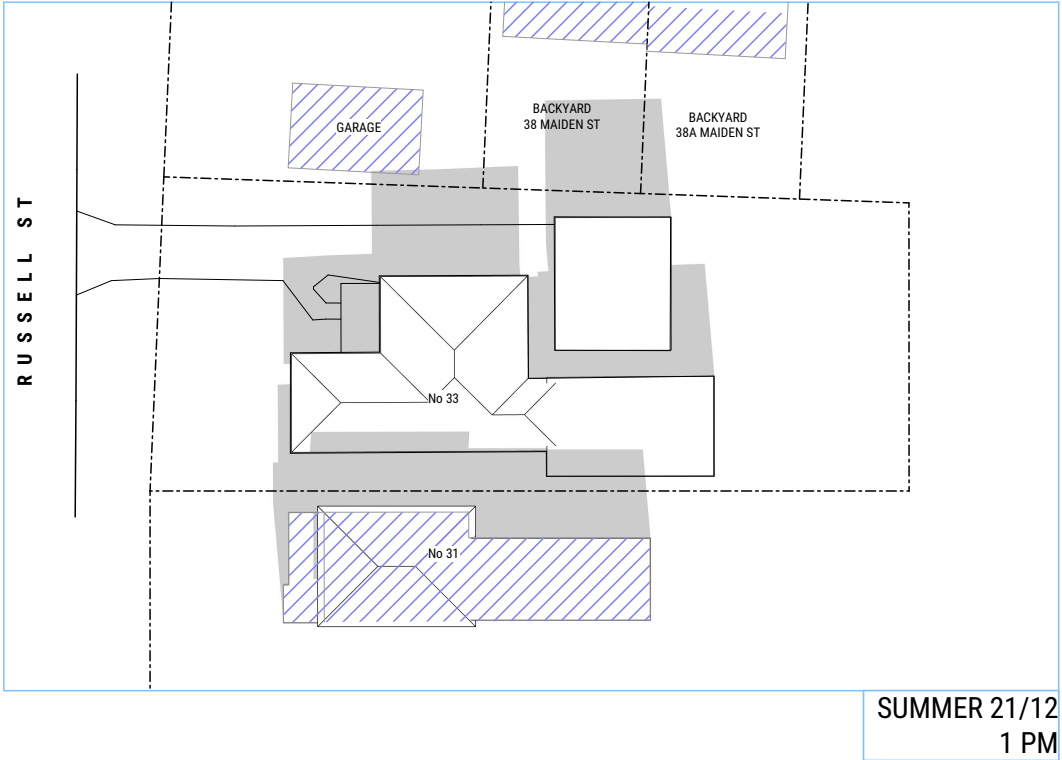
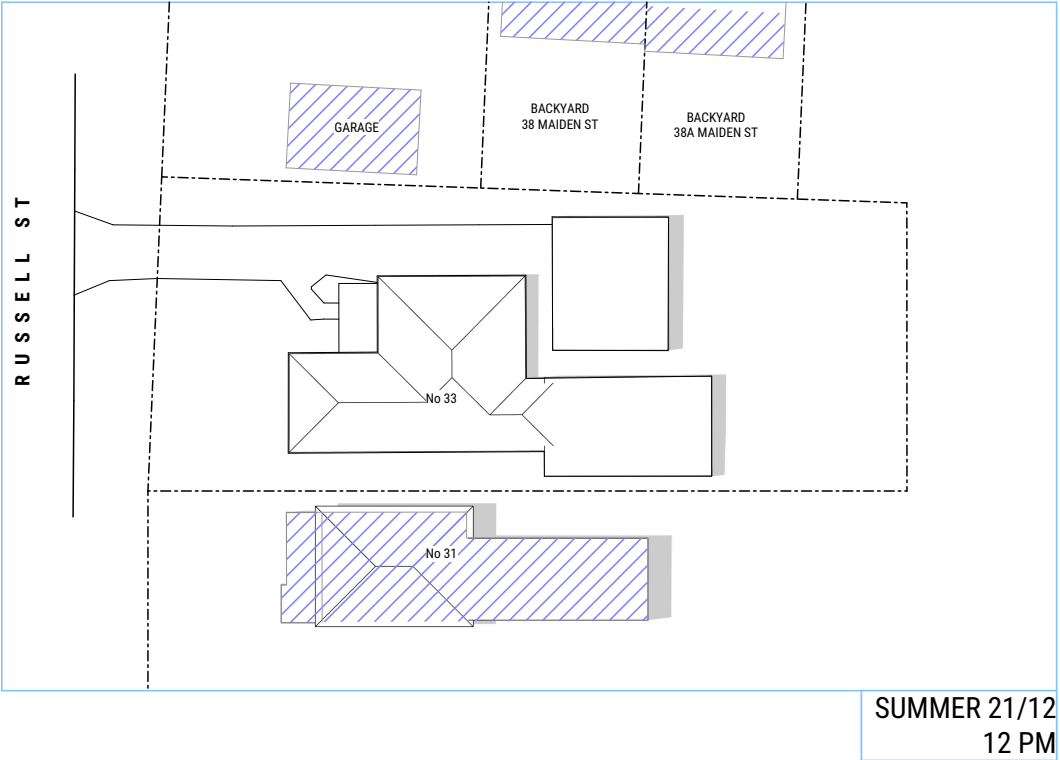
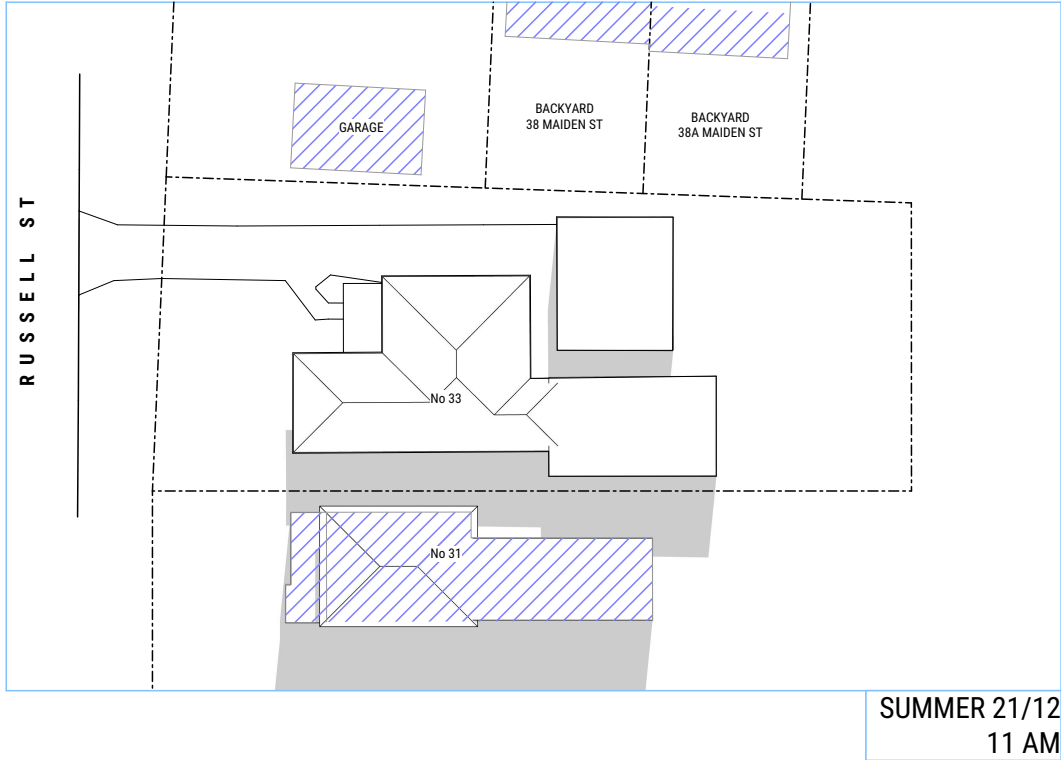
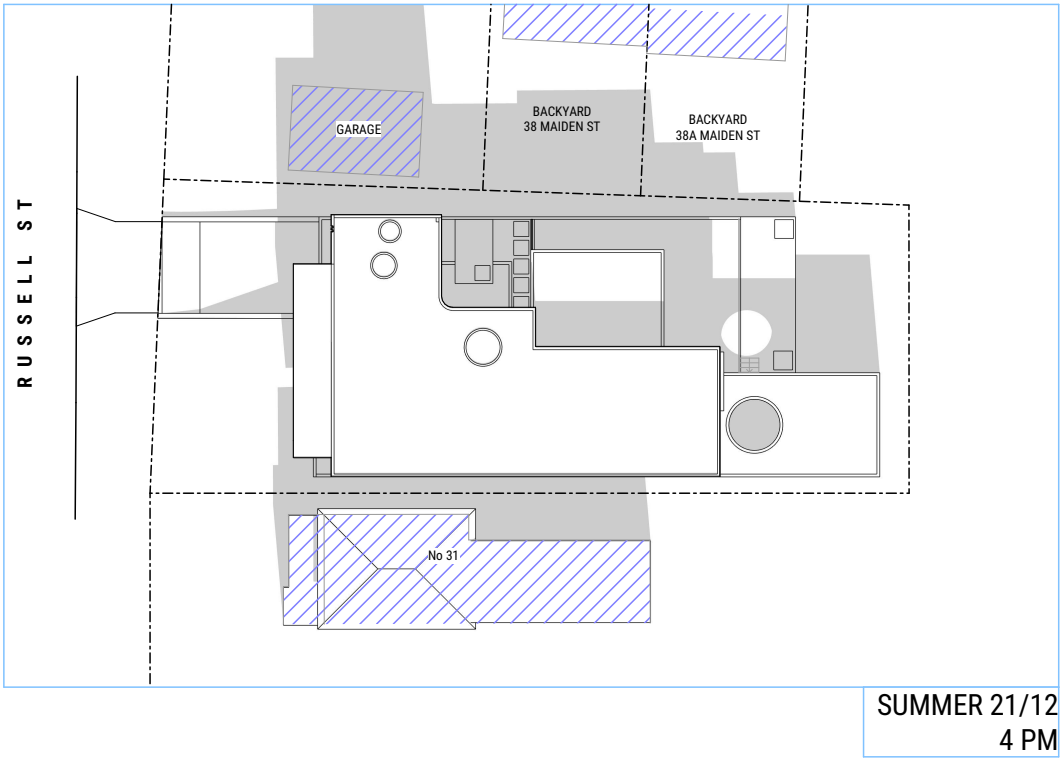
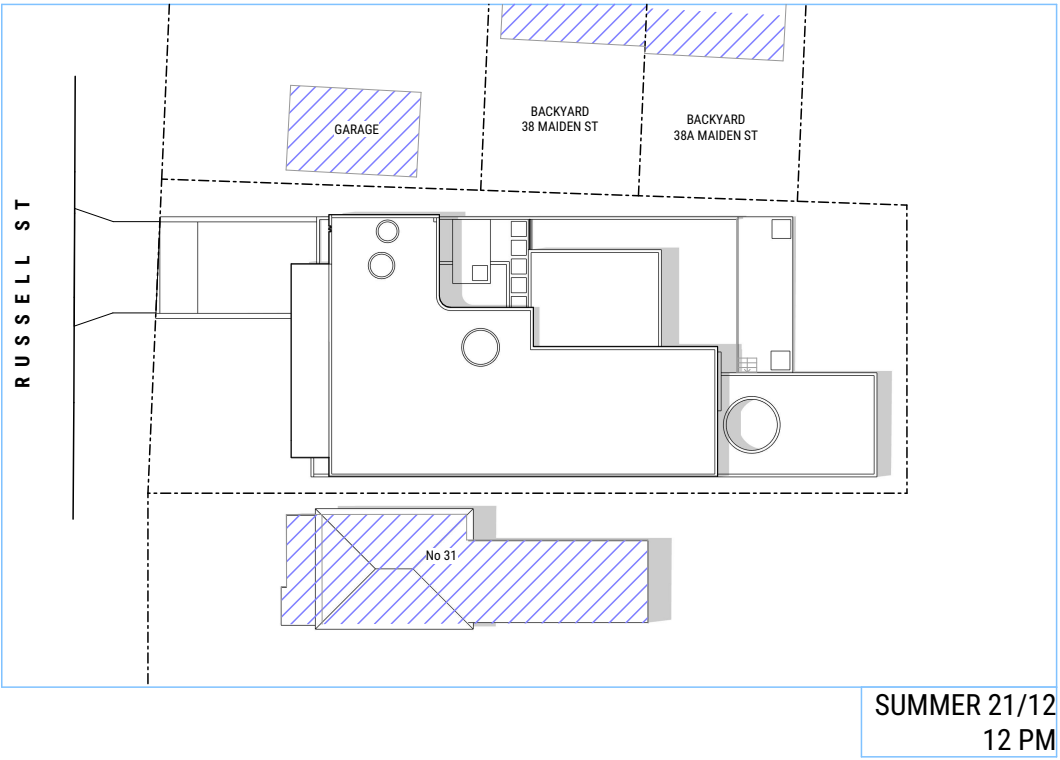
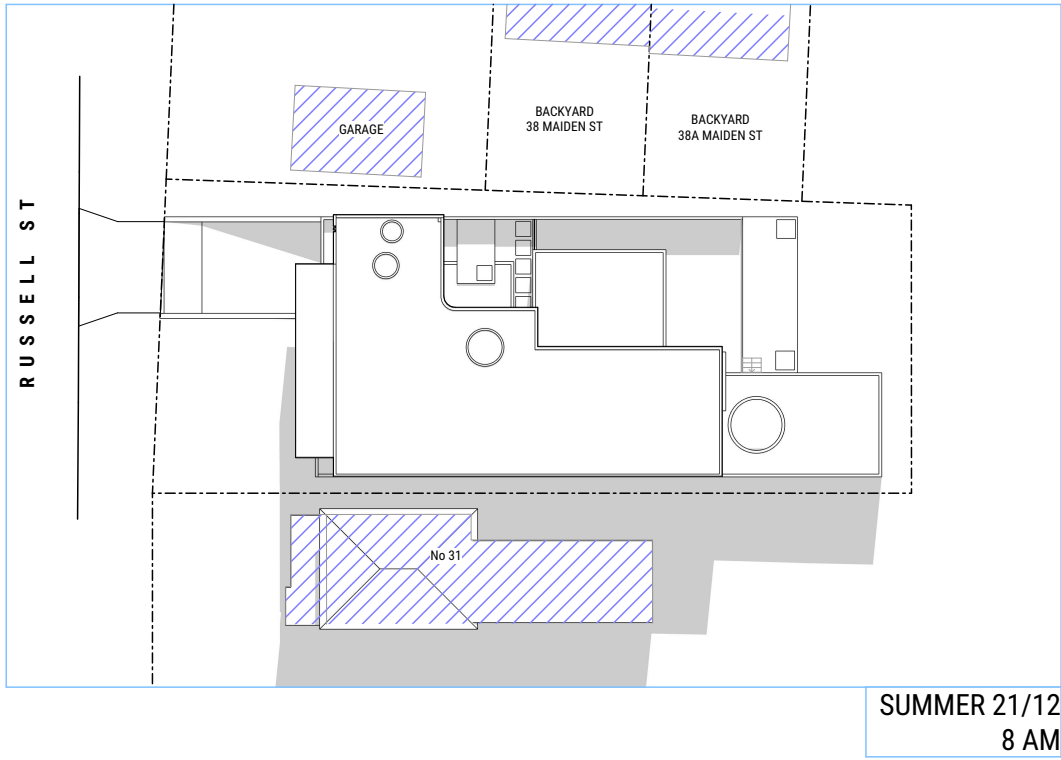


DRAWING TITLE
SHADOW DIAGRAMS EQUINOX

DRAWING NUMBER SCALE ISSUE
DA 52 1:400 B

DRAWING STATUS
NOT FOR CONSTRUCTION

A2



ISSUE	DATE	DESCRIPTION	APP BY
A	16/10/2023	ISSUE FOR APPROVAL	RM
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CONSULTANTS
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2. SDS ENGINEERING
3. PBAPTY**

PROJECT DESCRIPTION
**NEW SINGLE DWELLING
2 STOREY HOUSE**

PROJECT LOCATION
**33 Russell Street GREENACRE
LOT 20
DP 26321**

PROJECT NUMBER
23002

DRAWING TITLE
SHADOW DIAGRAMS SUMMER

DRAWING NUMBER
DA 53

SCALE
1:400

ISSUE
B

DRAWING STATUS
NOT FOR CONSTRUCTION

A2

Window Schedule												
Element ID	D01	D02	D03	D04	W01	W02	W03	W04	W05	W06	W07	W08
Home Story Name	GROUND FLOOR	GROUND FLOOR	FIRST FLOOR	FIRST FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR
W x H Size	4,830×2,900	6,000×3,000	2,950×2,900	5,950×2,600	970×2,200	5,010×2,200	1,210×2,200	2,970×3,000	900×700	650×2,700	2,220×700	4,470×4,200
Sill height	0	0	0	0	800	800	800	0	1,700	0	900	0
Head height	2,900	3,000	2,900	2,600	3,000	3,000	3,000	3,000	2,400	2,700	1,600	4,200
GlassType	Glass - Clear Fast	Glass - Clear Fast	Glass - Clear Fast	Glass - Clear Fast	Glass - Clear	Glass - Clear	Glass - Clear	Glass - Clear	Glass - Opaque	Glass - Opaque	Glass - Clear	Glass - Clear
Frame						OPERABLE		OPERABLE				OPERABLE
View from Reveal Side												

Window Schedule										
Element ID	W09	W10	W11	W12	W13	W14	W15	W16	W17	W18
Home Story Name	GROUND FLOOR	GROUND FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR
W x H Size	2,790×4,200	5,000×3,000	650×2,600	650×2,600	900×900	2,200×900	2,100×700	2,200×900	3,110×900	5,000×2,700
Sill height	0	0	0	0	1,500	1,500	1,700	1,500	1,500	200
Head height	4,200	3,000	2,600	2,600	2,400	2,400	2,400	2,400	2,400	2,900
GlassType	Glass - Clear	Glass - Clear	Glass - Opaque	Glass - Opaque	Glass - Clear	Glass - Clear	Glass - Opaque	Glass - Clear	Glass - Clear	Glass - Clear
Frame	OPERABLE	OPERABLE								
View from Reveal Side										

ISSUE	DATE	DESCRIPTION	APP BY
A	16/10/2023	ISSUE FOR APPROVAL	RM
B	08/01/2023	ISSUE FOR APPROVAL	RM

DEVELOPMENT APPLICATION

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Mr Sam Sharawneh

CONSULTANTS
1. NSW LAND SERVICES
2. SDS ENGINEERING
3. PBPTY

PROJECT DESCRIPTION
NEW SINGLE DWELLING
2 STOREY HOUSE

PROJECT LOCATION
33 Russell Street GREENACRE
NSW 2190 Australia
LOT 20
DP 26321

PROJECT NUMBER
23002



DRAWING TITLE
WINDOWS AND DOORS SCHEDULE

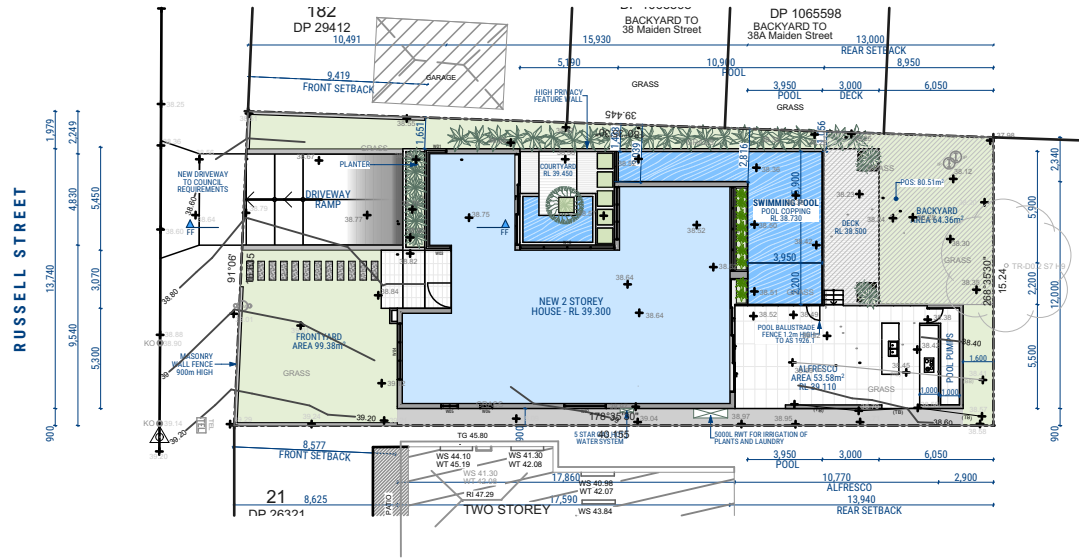
DRAWING NUMBER
DA 60

SCALE

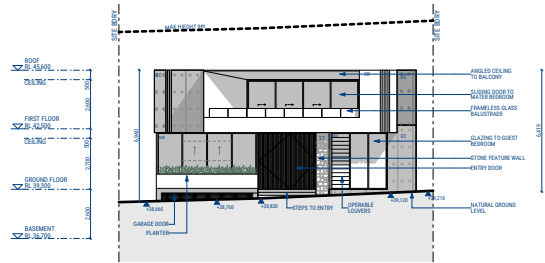
ISSUE
B

DRAWING STATUS
NOT FOR CONSTRUCTION

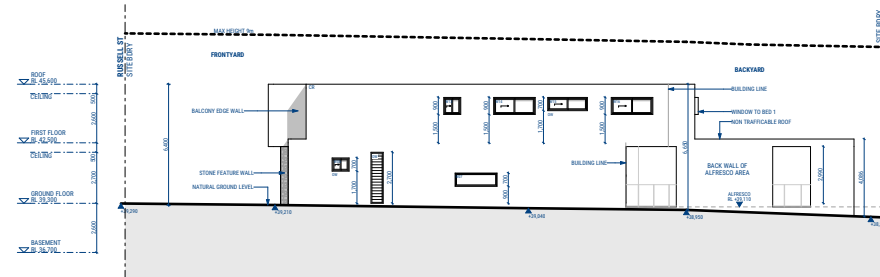
A3



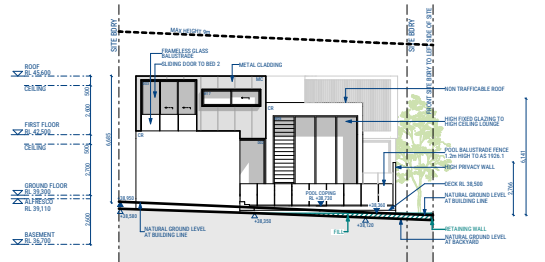
SITE PLAN
1:400



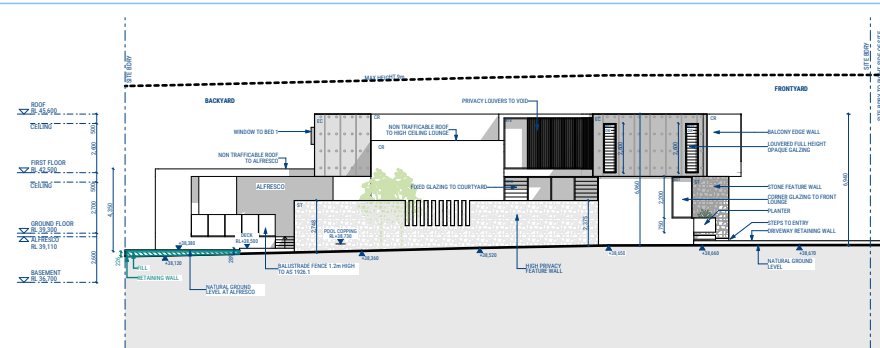
NORTH ELEVATION
1:400



WEST ELEVATION
1:400



SOUTH ELEVATION
1:400

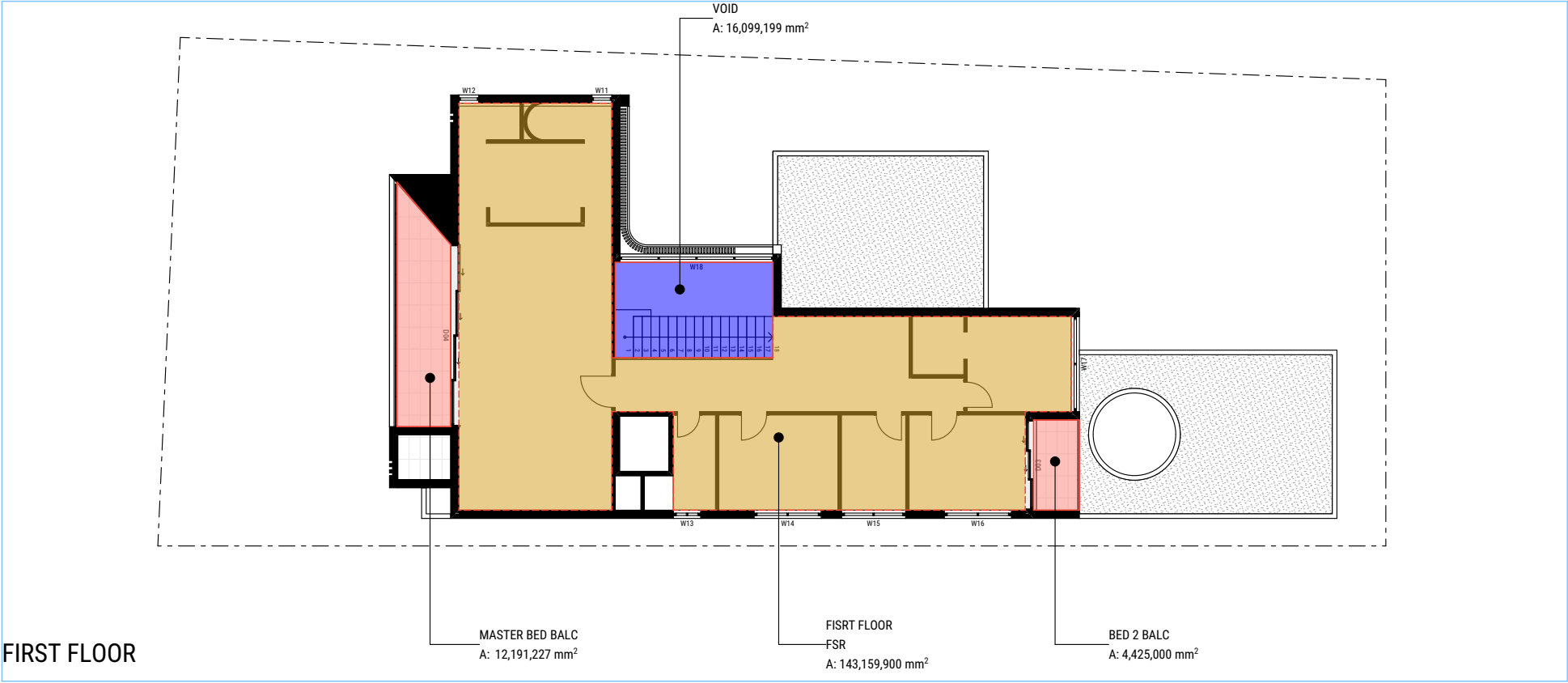


EAST ELEVATION
1:400

ISSUE	DATE	DESCRIPTION	APP BY	DEVELOPMENT APPLICATION		Client		Project Description		Drawing Title	
A	16/10/2023	ISSUE FOR APPROVAL	RM	Not scale drawings. Use figured dimensions only. Check & verify levels and dimensions on site prior to the commencement of any work, the preparation of shop drawings or the fabrication of components. This drawing is the copyright of RM Designers and is protected under the Copyright Act 1968. Do not alter, reproduce or transmit in any form or by any means without the express permission of RM Designers.		RM DESIGNERS Designer / 0405 204 511 / rabi@rmdesigners.com		NEW SINGLE DWELLING 2 STOREY HOUSE		NOTIFICATION Drawing Number Scale DA 70 1:400	
B	08/01/2023	ISSUE FOR APPROVAL	RM								
						1. NSW LAND SERVICES 2. SDS ENGINEERING 3. PBAPTY		Project Location 33 Russell Street GREENACRE NSW 2190 Australia		Issue B	
								Drawing Status NOT FOR CONSTRUCTION		A4	



GROUND FLOOR



FIRST FLOOR

Total Areas		
Zone Number	Zone Name	Measured Area
	ALFRESCO	53.58
	BED 2 BALC	4.43
	FRONTYARD TOTAL	150.82
	MASTER BED BALC	12.19
	POOL	42.91
	POS	80.51
	VOID	16.10
		360.54 m ²
FSR	FISRT FLOOR	143.16
FSR	GROUND FLOOR	172.97
		316.13 m ²
LANDSCAPING	BACKYARD	64.36
LANDSCAPING	FRONTYARD	99.38
		163.74 m ²

ISSUE	DATE	DESCRIPTION	APP BY
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3. PBAPTY

PROJECT DESCRIPTION
NEW SINGLE DWELLING
2 STOREY HOUSE

PROJECT LOCATION
33 Russell Street GREENACRE
NSW 2190 Australia
LOT 20
DP 26321

PROJECT NUMBER
23002



DRAWING TITLE
AREA CALCULATIONS

DRAWING NUMBER
SCALE
1:200
ISSUE
B

DRAWING STATUS
NOT FOR CONSTRUCTION

A3